

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
AUGUST 17, 2021 4:00 PM – TUESDAY**

Join Zoom Meeting

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 261 009 5007

Password 281 797

Please take notice that the Manasquan Planning Board will convene a remote meeting on August 17, 2021 4:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Vouchers - Approval
2. April 6, 2021 Meeting Minutes
3. April 20, 2021 Meeting Minutes

RESOLUTION

4. Perotti, Thomas - 77 Ocean Avenue - Application #21-2021
5. Ferchak, Bill - 7 Meadow Avenue - Application #29-2021
6. DYCAVA Properties, LLC - 67/69 Main Street - Application #30-2021

APPLICATION

7. #32-2021 Salt Air Properties - 42 First Avenue/43 Beachfront - Bulk Variance - Continued from August 3
8. #33-2021 Baldino, John & Cheryl - 74 Ocean Avenue - Bulk Variance
9. #35-2021 Cinfio, Janet & Scott, NJDMDC, LLC - 337 Beachfront/336 First Avenue - Bulk Variance

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

June 30, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1630
Variance – Salt Air Properties
Block 165, Lot 15.01
43 Beachfront/42 First Avenue
R-4 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Topographic Survey prepared by Paul Lynch, PLS, dated January 8, 2021.
2. Architectural Floorplans, Elevations, and Site Plan prepared by Mary Hearn, AIA, dated April 21, 2021, last revised May 25, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish the both existing dwellings and construct a raised two story garage dwelling on First Avenue, a three story dwelling on the beachfront, and associated site improvements. This application is deemed complete as of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

Lot 15.01

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 47.2% is proposed.

Re: Boro File No. MSPB-R1630
Variance – Salt Air Properties
Block 165, Lot 15.01

June 30, 2021
Sheet 2

Beachfront Dwelling (43 Beachfront)

- b. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (north).
- c. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (south).
- d. A maximum building height of 33 feet is permitted, whereas building height of 39 feet is proposed. The applicant also proposes a cupola, the exact height of which should be indicated.
- e. A maximum building height of 2½ stories is permitted, whereas building height of 3 stories is proposed.
- f. A maximum half story of 50% is permitted, whereas a half story of 63.5% is proposed.
- g. A dormer setback of 2 feet is required, whereas a dormer setback of 0 feet is proposed.

First Avenue Dwelling (42 First Avenue)

- h. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (north).
 - i. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet is proposed (south).
3. The following non-conformities exist on Lot 27 and are not proposed to be modified as part of this application:
 - a. A minimum lot frontage of 30 feet is required, whereas an frontage of 26 feet exists.
 4. The base flood elevation for the property is 16 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 19.2 and the beachfront dwelling at elevation 22.5.
 5. The air conditioning units are proposed to be located on raised decks on both dwellings, above the BFE.
 6. The applicant is providing the required 80 square feet of storage space in the First Avenue dwelling garage floor.
 7. Three conforming parking spaces are provided within the First Avenue garage and two additional spaces are shown in front of the garage. These two spaces will be partially located within the right-of-way, but outside the roadway.




Re: Boro File No. MSPB-R1630
Variance – Salt Air Properties
Block 165, Lot 15.01

June 30, 2021
Sheet 3

8. A dedicated walkway to the beachfront is proposed, partially located within the existing easement area with adjacent Lots 15.03 and 15.04.
9. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone
10. Construction details for the proposed pavers and any other site improvements should be provided on the plans.
11. The method of stabilizing the lot must be indicated on the plan.
12. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
13. Any new utilities should be located underground if possible.
14. The two new dwellings will need to be serviced by separate water and sewer lines, the locations of which must be shown on the plans.
15. Any curb and sidewalk must be replaced along First Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Jeffrey Beekman, esq.
47 Main Avenue, Ocean Grove, NJ 07756
Mary Hearn, AIA
M.B. Hearn Architecture, LLC, 1007B Main Street, Belmar, NJ 07719
Salt Air Properties, LLC
10851 Gulf Shore Drive, #802, Naples, FL 34108

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

May 12, 2021

Mary Hearn, Architect
1007B Main Street
Belmar, NJ 07719

Re: Block: 165 Lot: 15.01 Zone: R-4 Flood Zone: VE BFE: 16ft. DFE: 17ft.
43 Beachfront – 42 First Avenue

Dear Ms. Hearn:

On this date we reviewed your application for the following project.

Remove all of the structures on the property and construct a new three story single family dwelling fronting on the beachfront and a two story garage apartment fronting on First Avenue.

Survey prepared by Paul Lynch on January 8, 2021. Plot plan and conceptual building plans prepared by Mary Hearn on April 27, 2021.

Application denied for the following reason(s):

Site:

Section 35-9.4 – Lot Frontage – 30ft. Required
26ft. Existing

“ - Building Coverage – 35% Permitted
47.2% Proposed

43 Beachfront:

Section 35-9.4 – Side Setback (North) – 5ft. Required
3ft. Proposed

- “ - Side Setback (South) – 5ft. Required
3ft. Proposed
- “ - Building Height – 33ft. Permitted
39ft. Proposed
- “ - Number of Stories – 2 ½ Stories permitted
3 Stories proposed

Section 35-3 – Half Story – 60% Permitted
63.5% Proposed

- “ - Dormer Setback – 2ft. Required
.0ft. Proposed


42 First Avenue:

Section 35-9.4 – Side Setback (North) – 5ft. Required
3ft. Proposed

- “ - Side Setback (South) – 5ft. Required
3ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK DiROMA
Supervisor of Code Enforcement

ALBERT "SANDY" RATZ
Construction Official

APPLICATION TO THE PLANNING BOARD

Applicant's Name Salt Air Properties LLC

Applicant's Address 10851 Gulf Shore Drive, #802, Naples, FL 34108

Telephone Number James Miller - 201-280-4894; Jeff Miller - 646-379-0837
(Home and Cell) brahee@msn.com jcmiller218@gmail.com

Property Location 42 First Avenue & 43 Beachfront, Manasquan, NJ 08736
Block: 165 Lot 15.01

Type of Application Bulk Variance & Appeal of Portion of Zoning Officer's Decision
Bulk Variance, Non-Permitted Use - Conditional Use - Subdivision - Minor
Subdivision - Major - Site Plan Approval

Date of Zoning Officer's Denial Letter 5/12/2021 (Received in Mail on 5/17/2021)
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? Yes
Does the Applicant own any adjoining land? No
Are the property Taxes paid to date? Yes
Have there been any previous applications to the Planning Board concerning this property? None Known
(Attach copies)

Have there been any previous applications to the Planning Board. If there were please attach copies.

Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach No, but there is a mutual access easement that will NOT be affected

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent _____

Date _____

Extent of Appeal of Zoning Officer's Decision:

A. Zoning Officer determined that proposal is 3 stories where 2 1/2 stories is permitted, and Half Story as proposed is 63.5% where 60% permitted. Applicant's calculations of the proposed Half Story is 58.5% for the 42 First Avenue dwelling and 53.1% for the 43 Beachfront dwelling, measured using the "finished area of an attic wher the intersection of the roof and the exterior wall occurs within four (4) inches of the floor/cieling system at a cieling height of five (5) feet or more.

B. Zoning Officer determined that a "Dormer setback" of 2' is required where 0' proposed, but Applicant is not proposing a dormer. The roof is a cross gambrel roof, similar to a cross gable, and there are not any dormers proposed.

Alternatively, the Applicant seeks bulk variance relief from either or both of these conditions based upon the Zoning Officer's determination.

Applicant also seeks bulk variance relief as follows:

1. Lot Frontage of 26' existing and proposed, whereas 30' required.
2. Building Coverage of 47.2% proposed, whereas 47% is existing and 35% is permitted.
3. 43 Beachfront - Side yard setback to North side and South Side of 3' proposed where 2.3' exists at North Side and 2.9' exists at South Side, while 5' is permitted.
4. 43 Beachfront - Building Height of 39' proposed where 33' permitted from the monumented height of the Boardwalk several hundred yards away. A 40:55D-70(d)(6) variance is requested for this relief, along with any bulk variance as necessary.
5. 42 First Avenue - Side Yark Setback to North side and South side of 3' proposed where 0.4' exists at North Side and 4.6' exists at South side, while 5' is permitted.

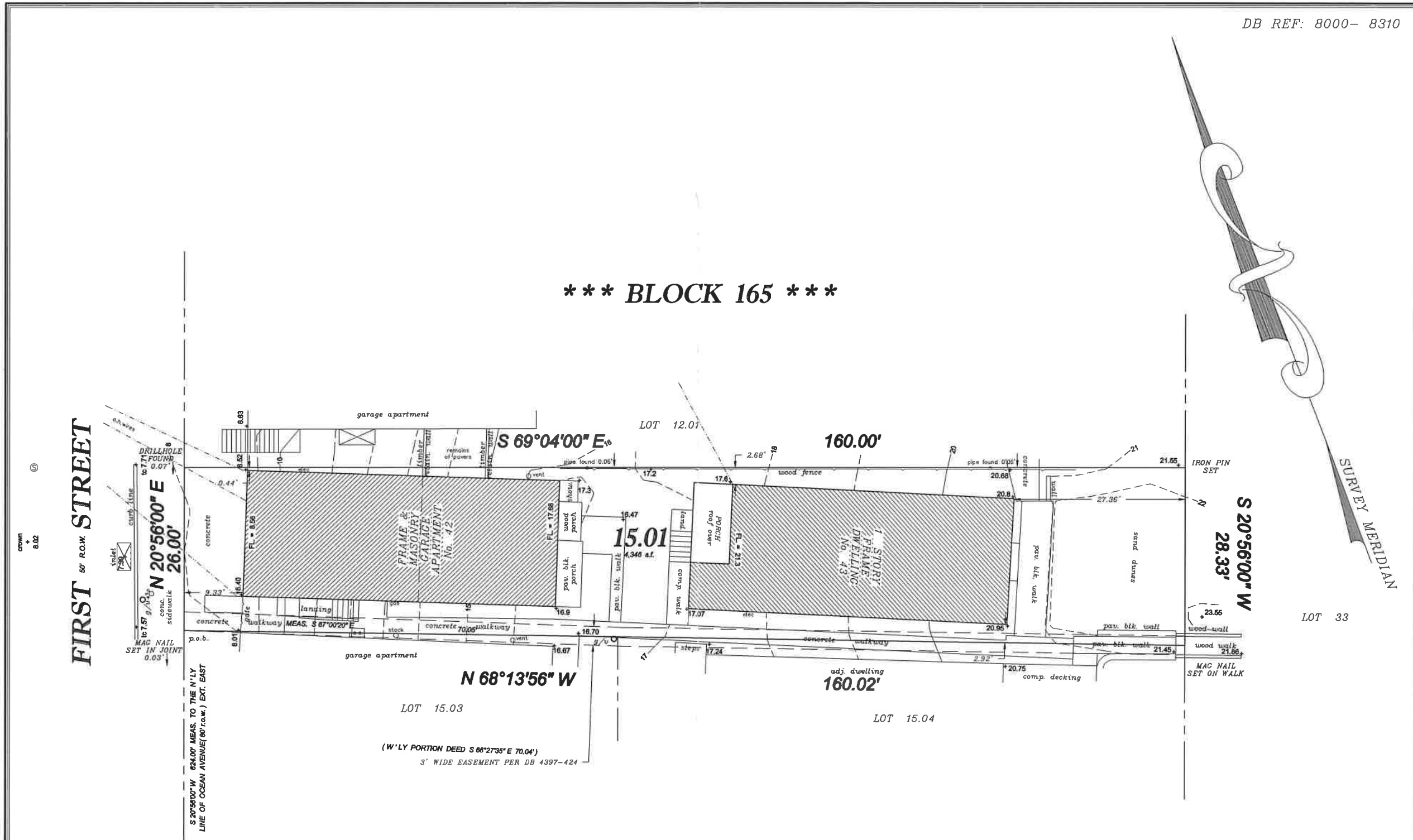
Applicant seeks any and all additional variances and/or waivers as may be required by the Borough of Manasquan Planning Board.

Jeffrey P. Beekman 6/2/2021
Attorney for Applicant

Jeffrey P. Beekman, Esq.
An Attorney at Law
State of NJ

DB REF: 8000- 8310

*** BLOCK 165 ***

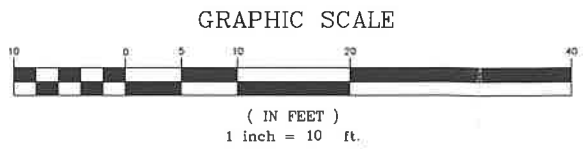


FIRST STREET 50' ROW

crow 8.02

PREMISES SURVEYED SUBJECT TO EASEMENTS OF RECORD IDENTIFIED BY A TITLE SEARCH AND NOT SHOWN HEREON.

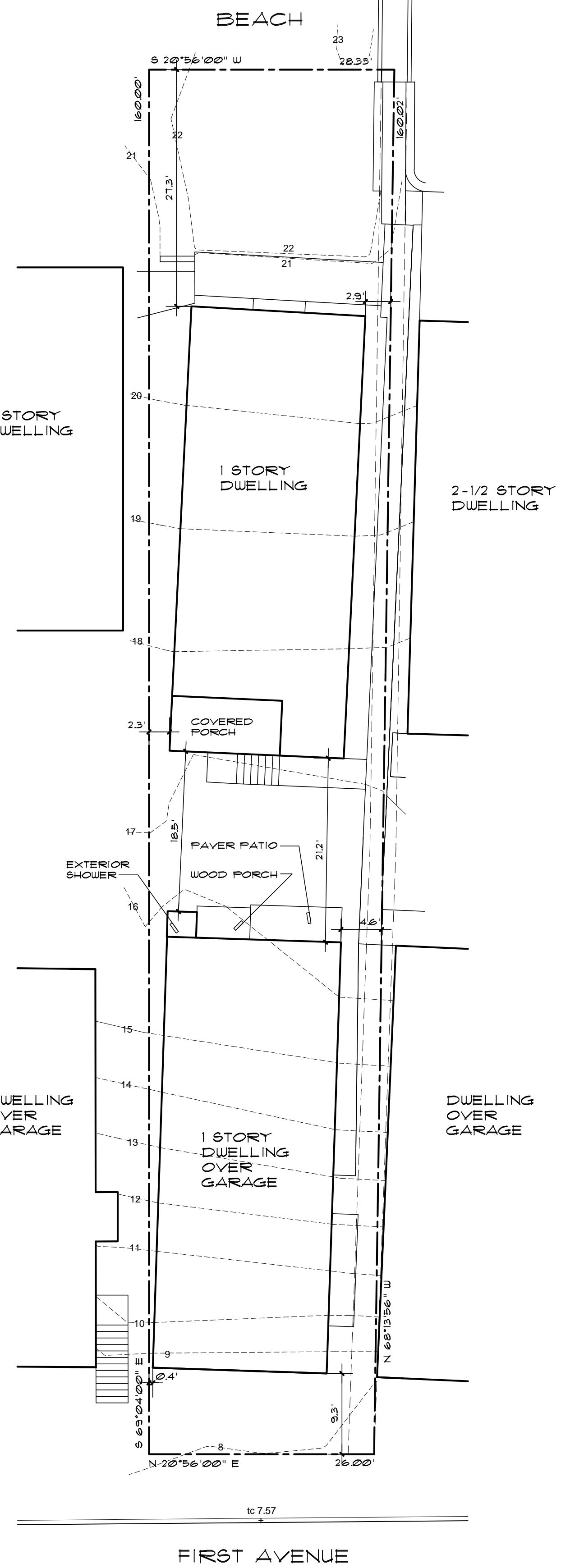
ANY OBJECT BENEATH AND NOT VISIBLE ON THE SURFACE OF THE EARTH OF THE LOT AND PREMISES SURVEYED AND SHOWN HEREON HAS NOT BEEN LOCATED.



TOPOGRAPHIC SURVEY
FOR
PLJT ASSOCIATES, LLC

SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY
KNOWN AND DESIGNATED AS LOT 15.01 BLOCK 165 AS SHOWN ON THE
TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

	PAUL K. LYNCH	Date: 1-08-21
	LAND SURVEYOR & BOUNDARY CONSULTANT P.O. BOX 1453 WALL, N.J. 07719 (732)681-4035 PKLYNCHLS@GMAIL.COM	Scale: 1"= 10'
		FB: 108018
	NEW JERSEY PROFESSIONAL LAND SURVEYOR LICENSE No. 35855	File: 571220165-15.01 Drawing: C190757



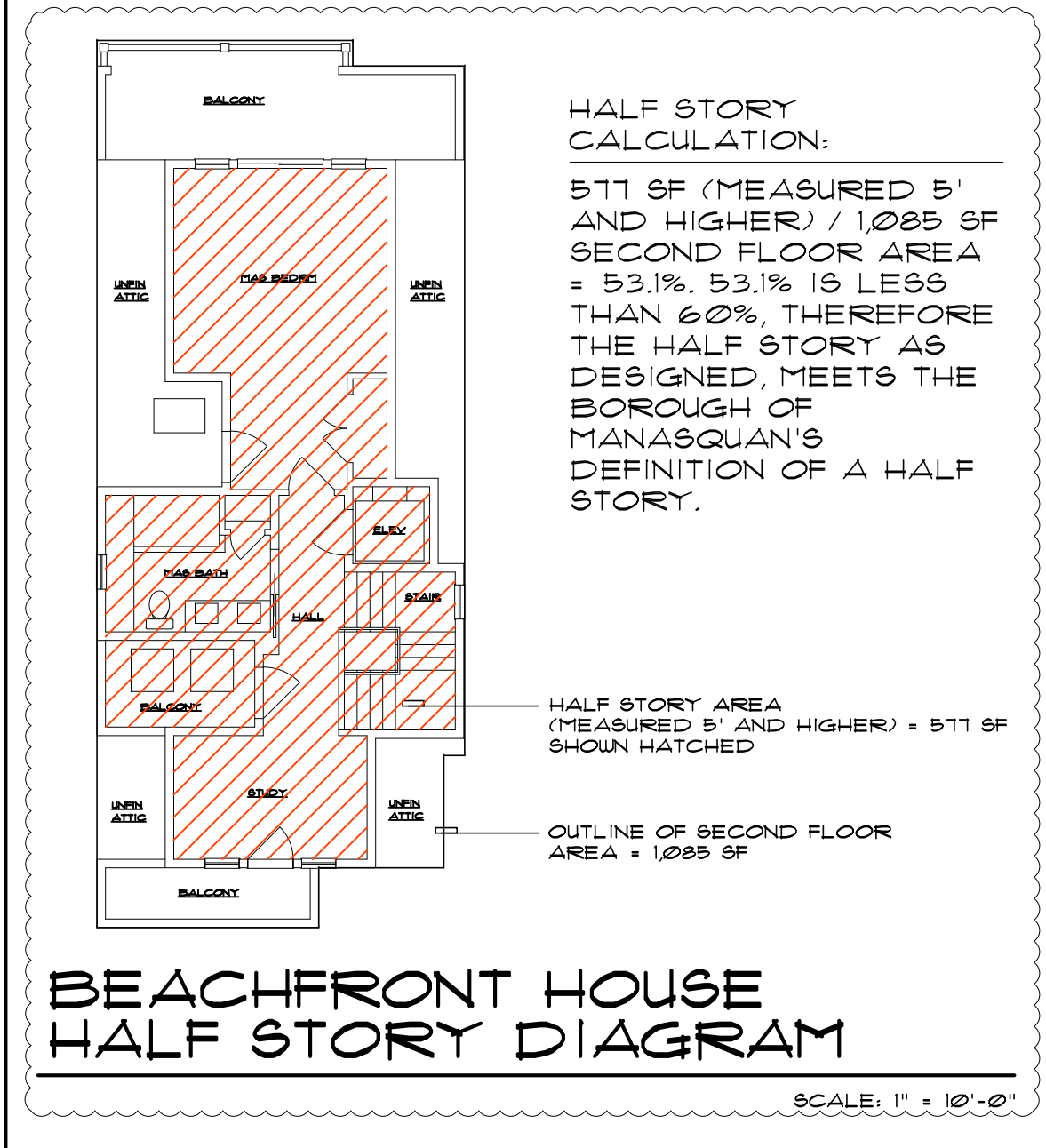
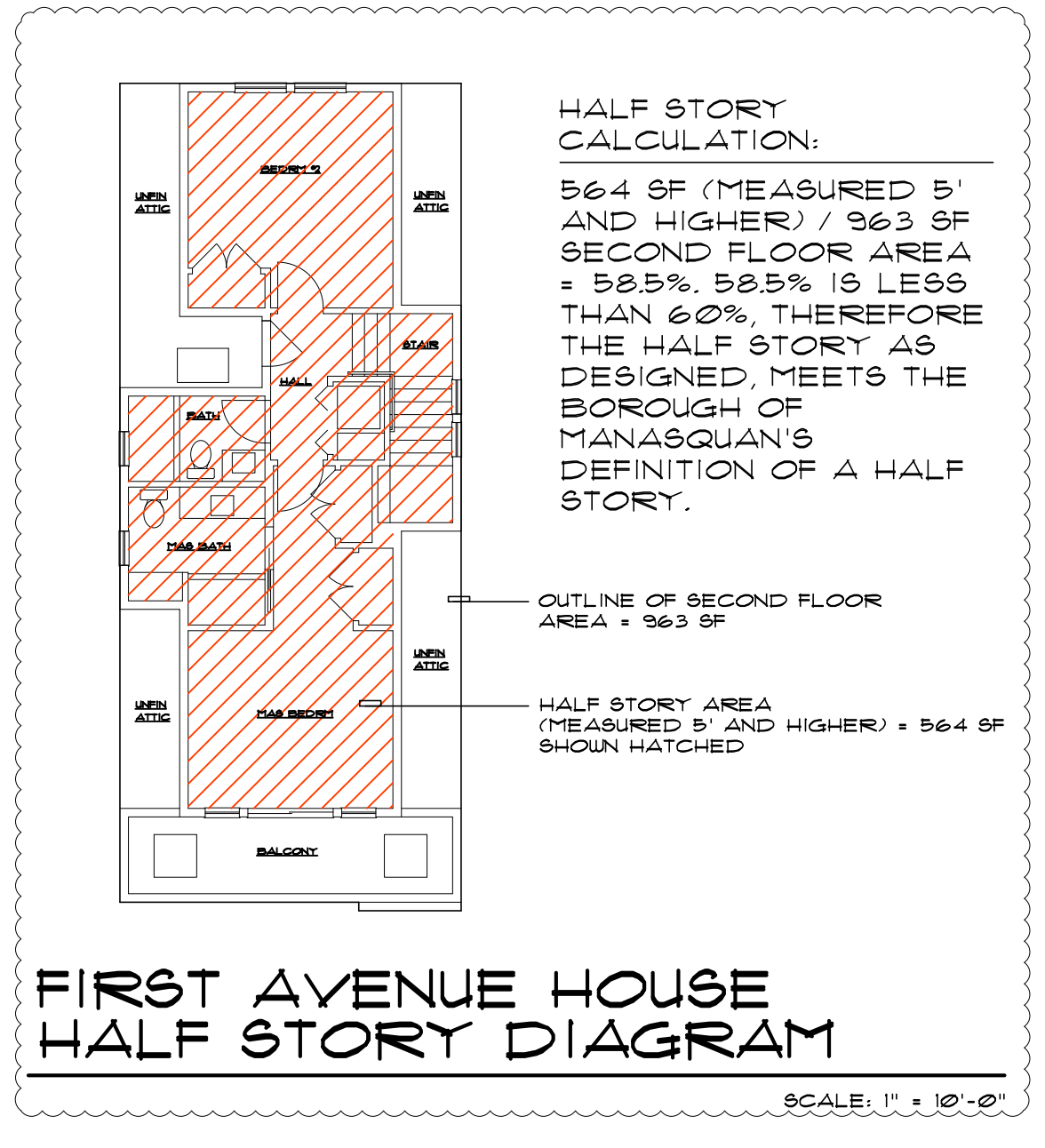
EXISTING SITE PLAN
SCALE: 1" = 10'-0"
ALL OF THE INFORMATION ON THIS SITE PLAN IS BASED ON THE SURVEY DATED 1-8-21 PREPARED BY PAUL K. LYNCH, LAND SURVEYOR - PLUT ASSOCIATES, LLC - NJ LIC. NO. 35855 - P.O. BOX 1453 - WALL, NJ 07115 - (732) 681-4035.

EXISTING ZONING DATA:

SITE AREA:	4,346 SF
BUILDING COVERAGE:	
BEACHFRONT DWELLING:	952 SF
BEACHFRONT COVERED PORCHES:	80 SF
FIRST AVENUE DWELLING:	1,001 SF
EXTERIOR SHOWER:	10 SF
TOTAL:	2,043 SF = 47.0%
LOT COVERAGE:	
BEACHFRONT DWELLING:	952 SF
BEACHFRONT COVERED PORCHES:	80 SF
FIRST AVENUE DWELLING:	1,001 SF
EXTERIOR SHOWER:	10 SF
CONCRETE DRIVEWAY, WALKS, LANDING & STEPS:	609 SF
TOTAL:	2,648 SF = 60.9%
GROSS AREA OF BEACHFRONT DWELLING:	
FIRST FLOOR:	952 SF
TOTAL:	952 SF
GROSS AREA OF FIRST AVENUE DWELLING:	
FIRST FLOOR:	1,001 SF
TOTAL:	1,001 SF

PROPOSED ZONING DATA:

SITE AREA:	4,346 SF
BUILDING COVERAGE:	
BEACHFRONT DWELLING:	925 SF
BEACHFRONT COVERED PORCHES:	166 SF
FIRST AVENUE DWELLING:	963 SF
TOTAL:	2,054 SF = 47.2%
LOT COVERAGE:	
BEACHFRONT DWELLING:	925 SF
BEACHFRONT COVERED PORCHES:	166 SF
FIRST AVENUE DWELLING:	963 SF
STEPS:	11 SF
RETAINING WALLS:	8 SF
TOTAL:	2,139 SF = 49.2%
GROSS AREA OF BEACHFRONT DWELLING:	
FIRST FLOOR:	895 SF
SECOND FLOOR:	934 SF
HALF STORY:	594 SF
TOTAL:	2,423 SF
GROSS AREA OF FIRST AVENUE DWELLING:	
LOWER LEVEL (960 SF NOT LIVABLE):	0 SF
FIRST FLOOR:	963 SF
HALF STORY:	630 SF
TOTAL:	1,593 SF



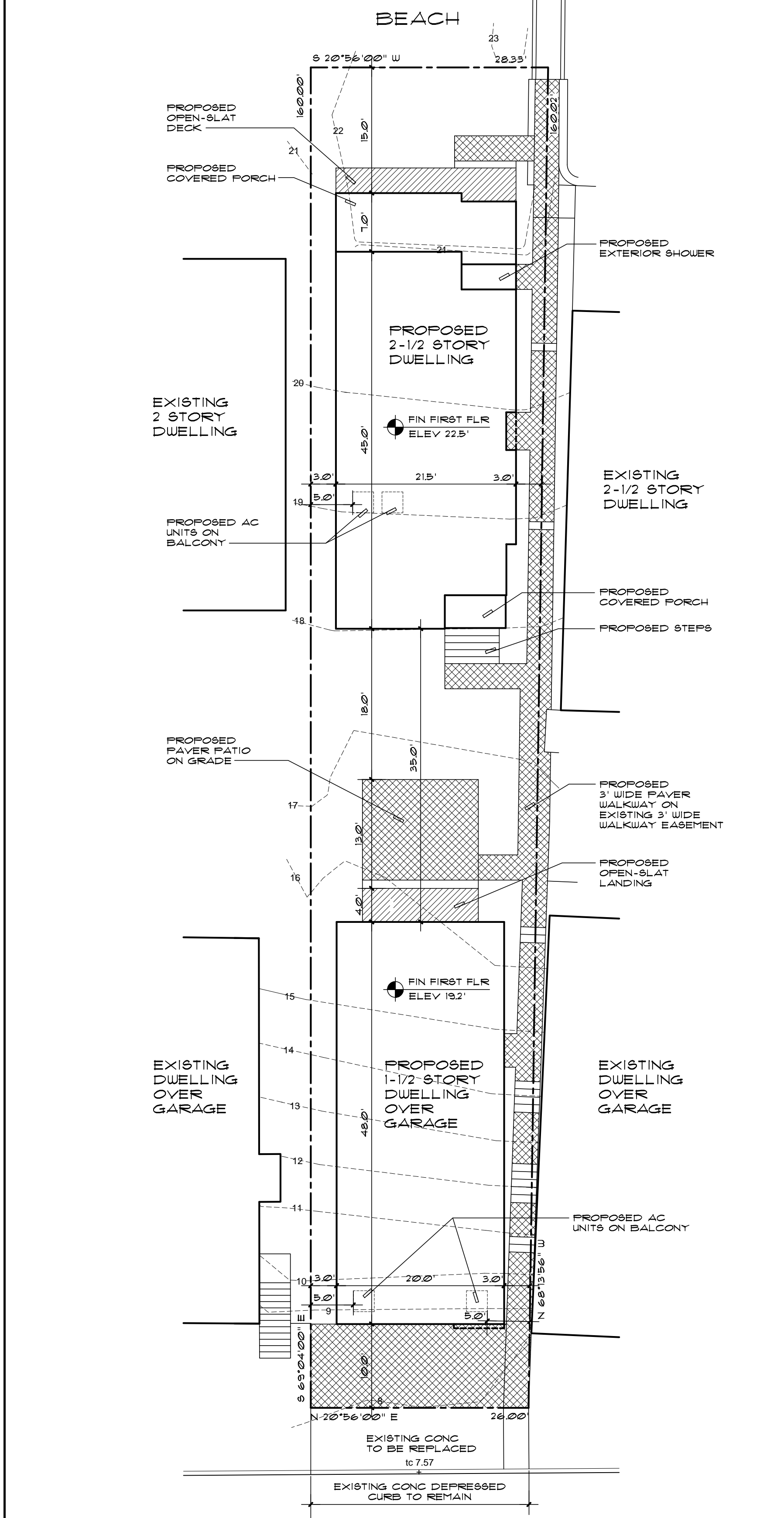
ZONING CHART: R-4 BEACHFRONT ZONE

	EXISTING	PROPOSED	REQUIRED
SITE:			
LOT AREA:	4,346 SF	4,346 SF	4,200 SF MIN
LOT FRONTAGE:	26.0 FT	26.0 FT	30 FT MIN
BUILDING COVERAGE:	47.0%	47.2%	35% MAX
LOT COVERAGE:	60.9%	49.2%	50% MAX
ON SITE PARKING:	4 SPACES	5 SPACES	4 SPACES MIN
FRONT SETBACK, AGGREGATE:	NA	NA	NA
SEPARATION DISTANCE BETWEEN DWELLINGS:	21.2 FT	38.0 FT	35 FT MIN
FIRST AVENUE HOUSE:			
FRONT SETBACK, FIRST AVENUE:	9.3 FT	10.0 FT	10 FT MIN
REAR SETBACK:	NA	NA	NA
SIDE SETBACK, NORTH:	0.4 FT	3.0 FT	5 FT MIN
SIDE SETBACK, SOUTH:	4.6 FT	3.0 FT	5 FT MIN
BUILDING HEIGHT:	13.0 FT	31.6 FT	32 FT MAX
BUILDING HEIGHT, NUMBER OF STORIES (OVER GARAGE):	1 STORY	1-1/2 STORY	1-1/2 STORY MAX
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINES:	NA	5.0 FT	5 FT MIN
BEACHFRONT HOUSE:			
FRONT SETBACK, BEACHFRONT:	21.3 FT	15.0 FT	15 FT MIN
REAR SETBACK:	NA	NA	NA
SIDE SETBACK, NORTH:	2.3 FT	3.0 FT	5 FT MIN
SIDE SETBACK, SOUTH:	2.9 FT	3.0 FT	5 FT MIN
BUILDING HEIGHT:	12.0 FT ***	39.0 FT ***	33 FT MAX
BUILDING HEIGHT, NUMBER OF STORIES:	1 STORY	2-1/2 STORY	2-1/2 STORY MAX
DORMER SETBACK:	NA	0 FT	2 FT MIN
OUTDOOR MECHANICAL EQUIPMENT SETBACK TO PROPERTY LINES:	NA	5.0 FT	5 FT MIN

PRE-EXISTING NON CONFORMANCE VARIANCE REQUESTED

*** NOTE: THE PROPOSED BUILDING HEIGHT FOR THE PROPOSED BEACHFRONT DWELLING IS MEASURED ABOVE THE CLOSEST POINT OF THE MONUMENTED BEACH WALK WHICH IS AT ELEVATION 13.9' AND APPROXIMATELY 800 FT SOUTH OF THIS SUBJECT PROPERTY. THE PROPOSED BUILDING HEIGHT IS 33'-0" ABOVE ELEVATION 21.0'. THE EXISTING BEACH ELEVATION AT THE REAR OF THIS PROPERTY IS AT ELEVATION 22.0'.

NOTES:
1. A WALKWAY, WITH A MINIMUM OF 3 FOOT WIDTH, TO PROVIDE ACCESS TO THE BEACHFRONT IS PROPOSED.
2. EACH DWELLING SHALL BE SERVICED BY A SEPARATE WATER AND SEWER LINE.
3. THE HALF STORIES COMPLY WITH THE REQUIREMENTS OUTLINED IN SECTION 35-3.



PROPOSED SITE PLAN
SCALE: 1" = 10'-0"
ALL OF THE INFORMATION ON THIS SITE PLAN IS BASED ON THE SURVEY DATED 1-8-21 PREPARED BY PAUL K. LYNCH, LAND SURVEYOR - PLUT ASSOCIATES, LLC - NJ LIC. NO. 35855 - P.O. BOX 1453 - WALL, NJ 07115 - (732) 681-4035.

Item 7

Miller Residences
43 Beachfront/42 First Ave
Borough of Manasquan, NJ

EXISTING SITE PLAN
PROPOSED SITE PLAN
ZONING DATA

REV # 1 9-25-21

Drawn By: M.B.H. Approved: [Signature] Scale: NOTED Date: 4-27-21 Sheet No: 1 OF 1

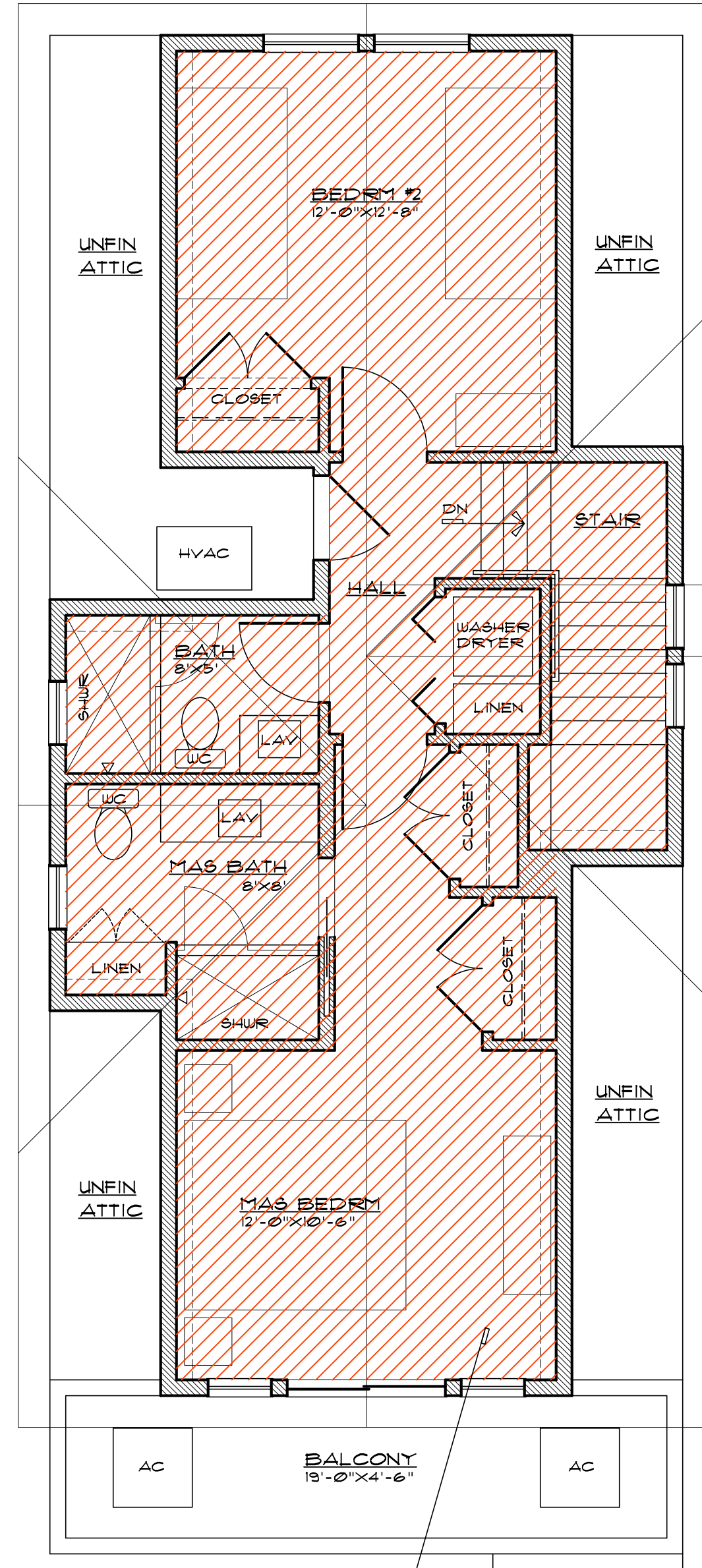
M. B. HEARN ARCHITECTURE, LLC
1007B MAIN STREET, BELMAR, NEW JERSEY 07719
(732) 556-5055 FAX: (732) 556-902

PAUL K. LYNCH, LAND SURVEYOR
PLUT ASSOCIATES, LLC
NJ LIC. NO. 35855
P.O. BOX 1453 - WALL, NJ 07115 - (732) 681-4035

201102

FIRST AVENUE HOUSE

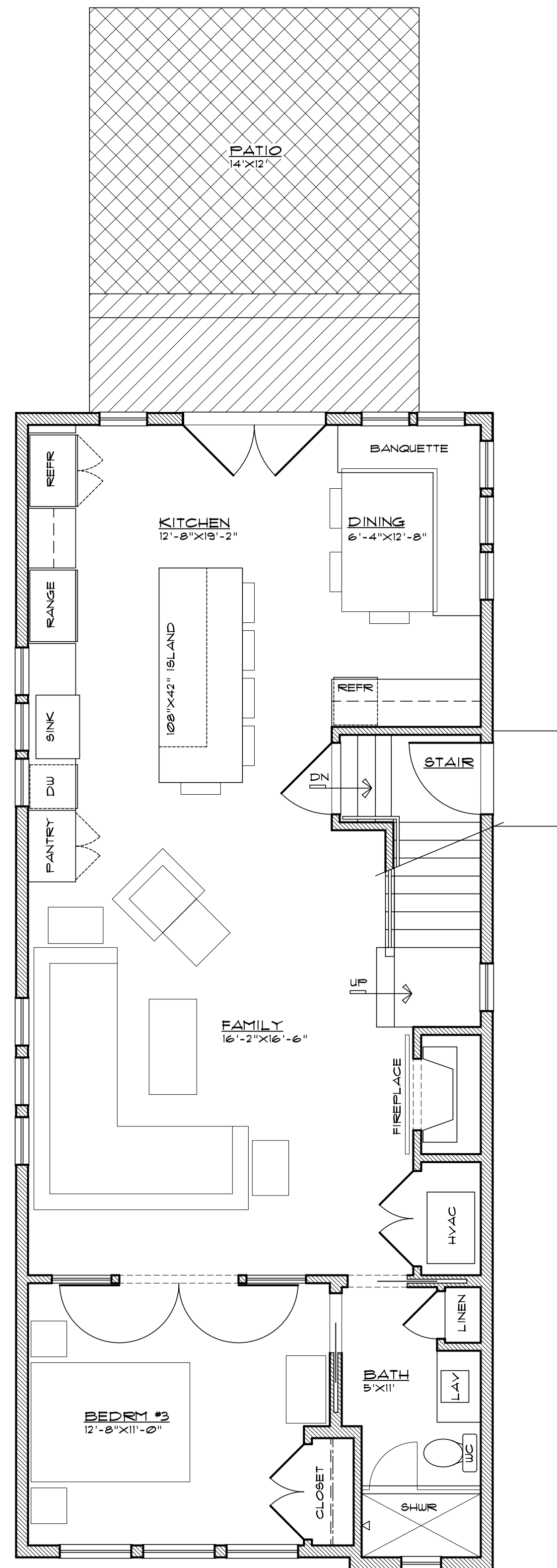
GROSS AREA OF DWELLING:
 LOWER LEVEL (960 SF NOT LIVABLE): 0 SF
 FIRST FLOOR: 963 SF
 HALF STORY: 630 SF
 TOTAL: 1,593 SF



HALF STORY FLOOR PLAN

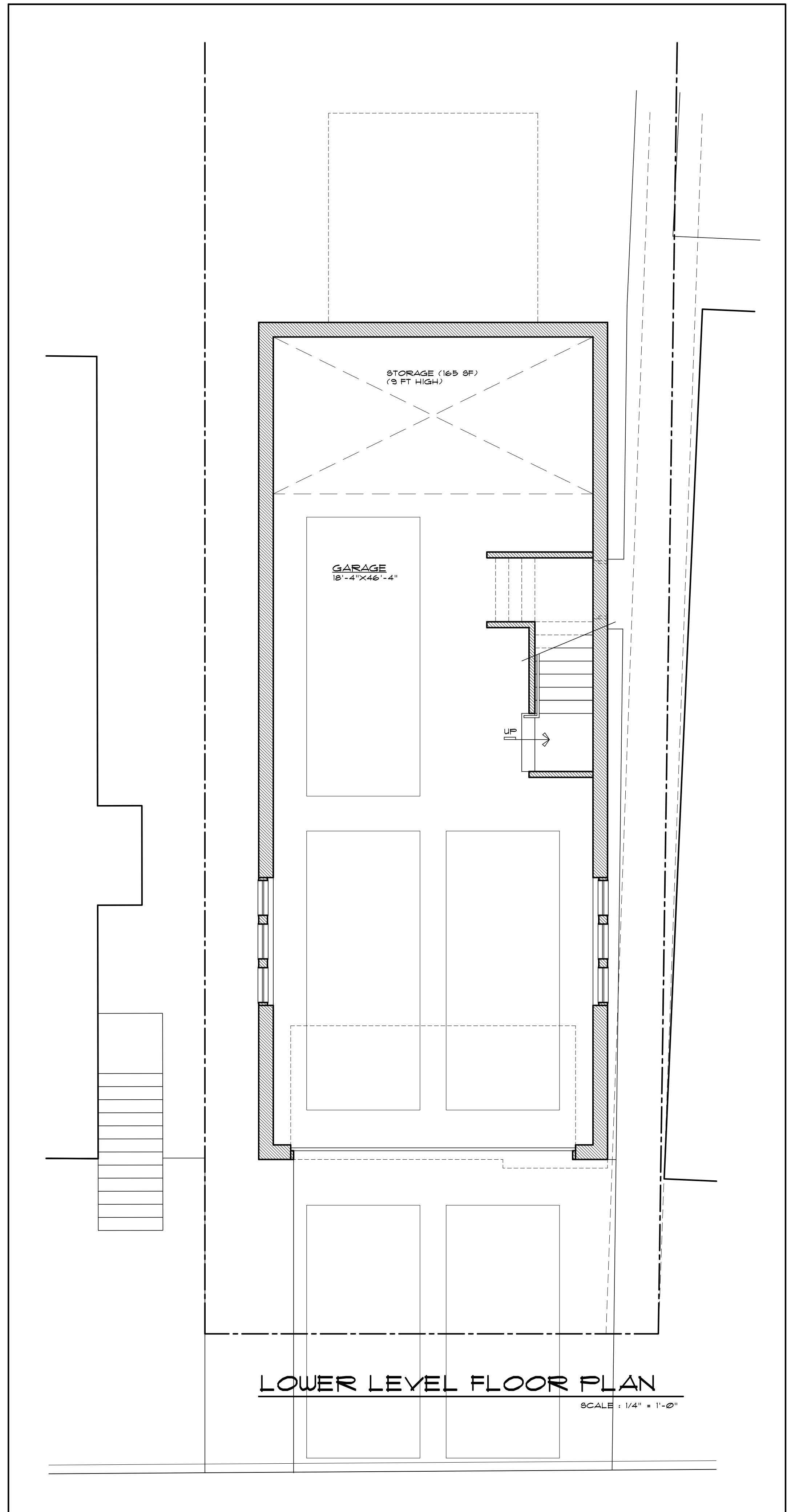
SCALE: 1/4" = 1'-0"

PORTION OF HALF STORY MEASURING 5' AND HIGHER SHOWN HATCHED.



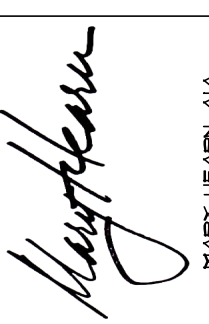
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



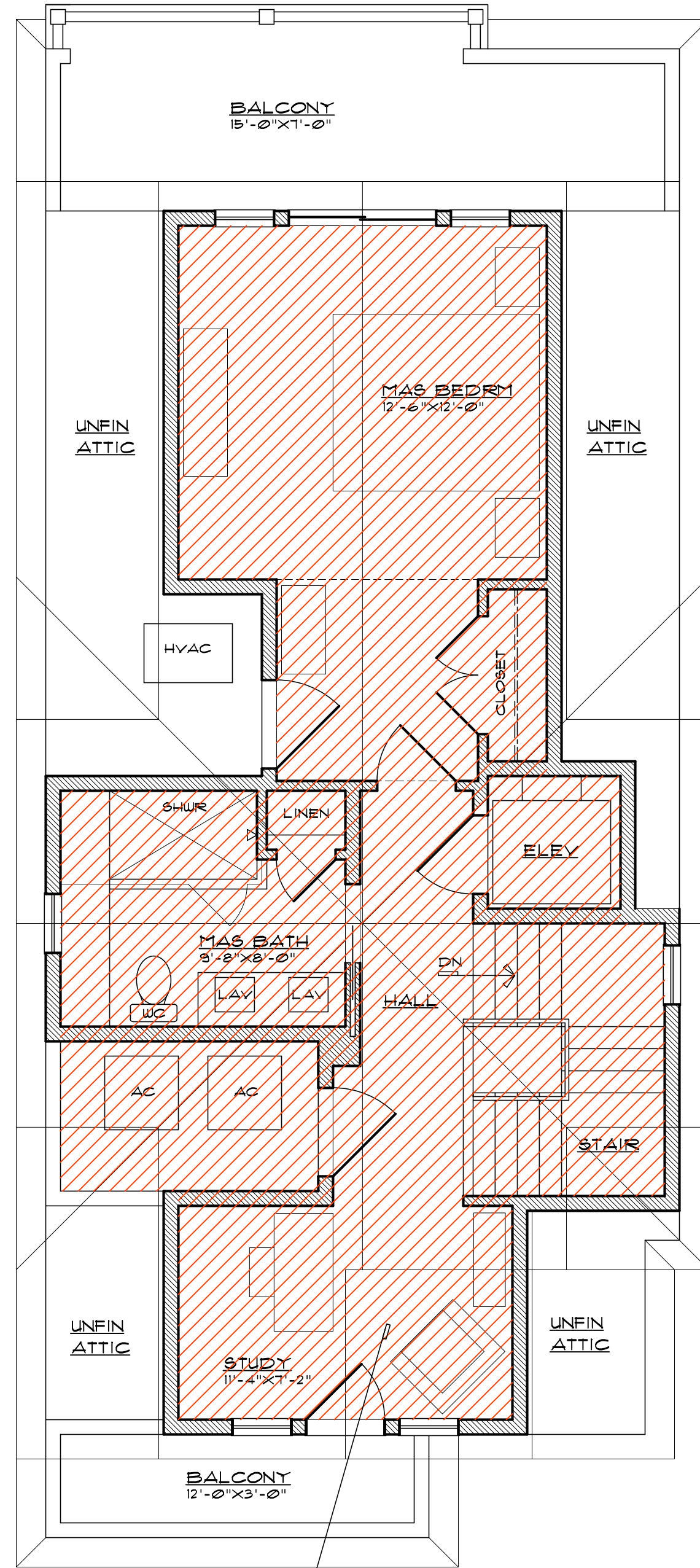
LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

REV # 1 5-25-21		MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ		Sheet No. 2 OF 1
FLOOR PLANS		DATE 4-27-21	NOTED	
Drawn By: M.B.H.	Approved:	Scale:		
 M. B. HEARN, AIA REGISTERED ARCHITECT C. 12058		M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET, BELMAR, NEW JERSEY 07719 (732) 556-3055 FAX: (732) 556-302		
COMM. NO. 201102		11		

BEACH HOUSE

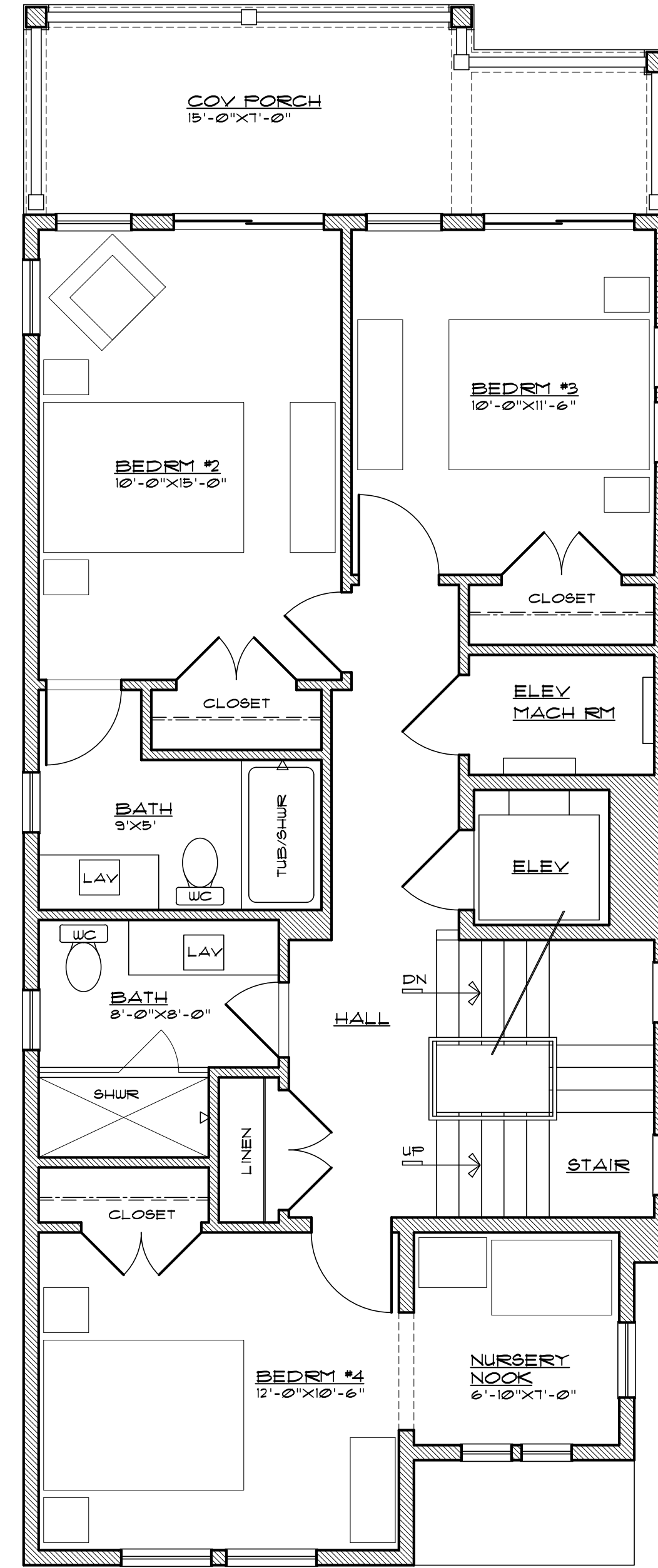
GROSS AREA OF DWELLING:	
FIRST FLOOR:	895 SF
SECOND FLOOR:	934 SF
HALF STORY:	594 SF
TOTAL:	2,423 SF



FORTION OF HALF STORY MEASURING 5' AND HIGHER SHOWN HATCHED.

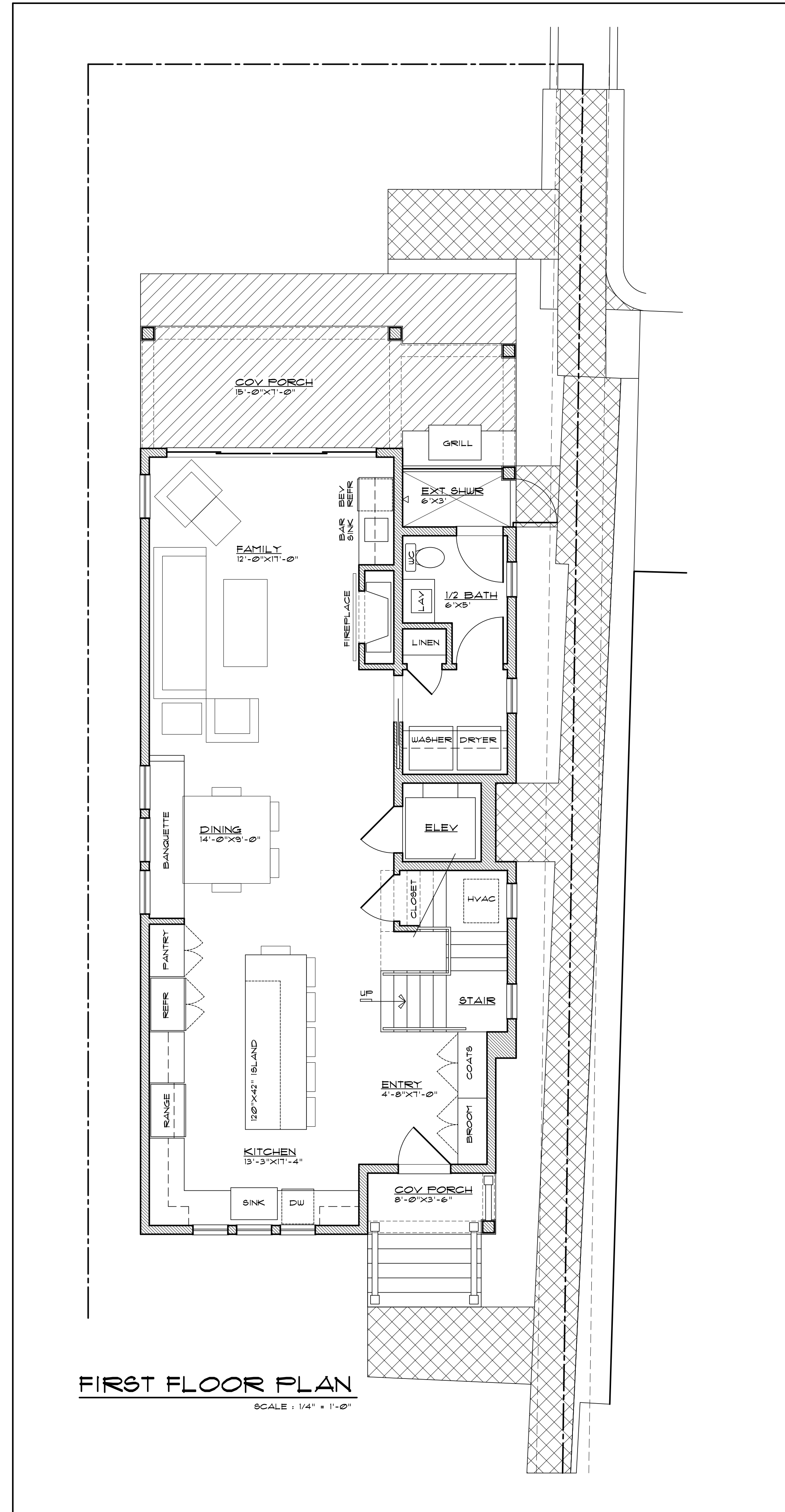
HALF STORY FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

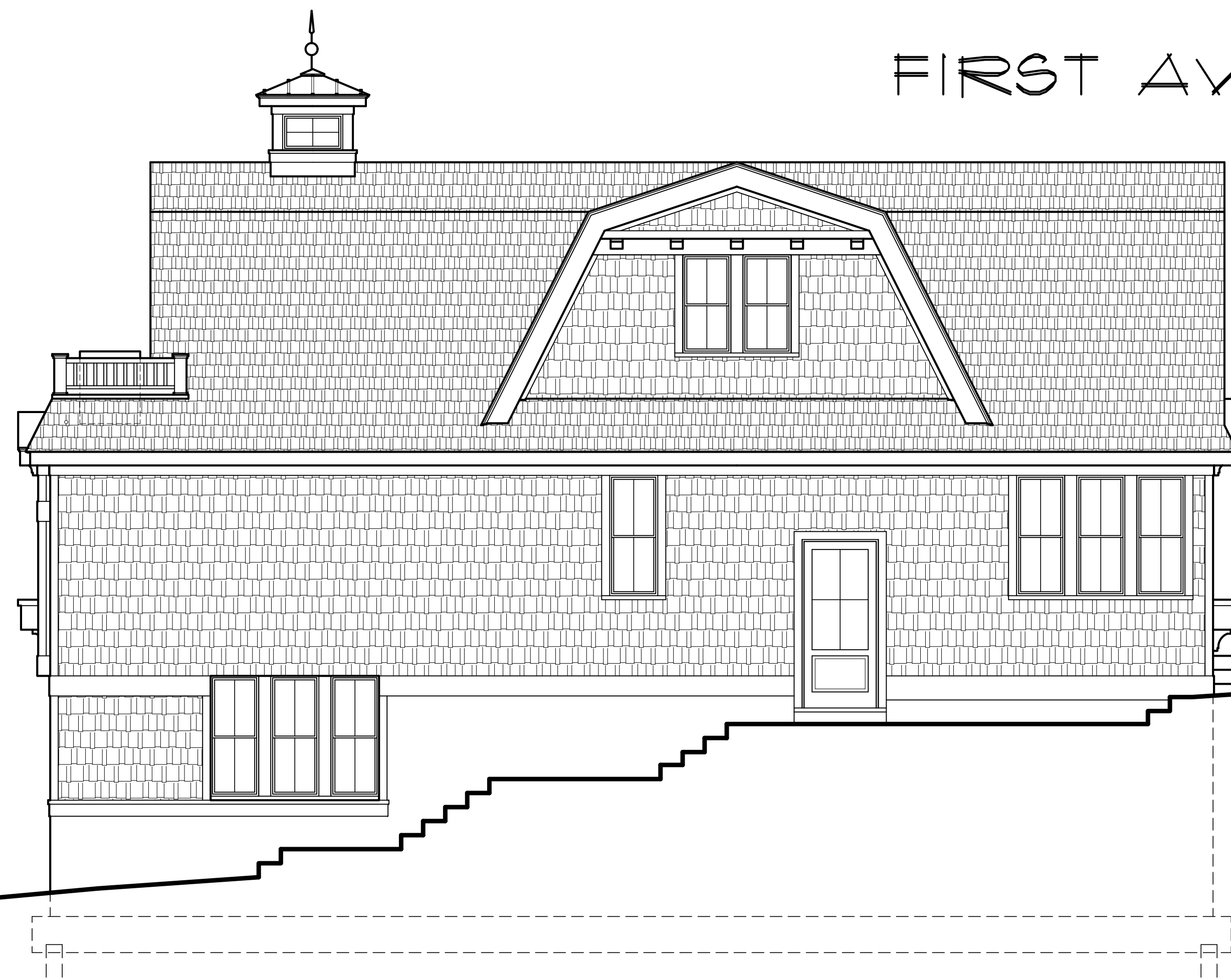


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REV # 1	B-25-21				
FLOOR PLANS					
Drawn By	TJBH	Approved	NOTED	Scale	Sheet No. 3 OF 1
MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ					
Date: 4-27-21					
M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET, BELMAR, NEW JERSEY 07719 (732) 556-3055 FAX: (732) 556-902					
MARY HEARN, AIA REGISTERED ARCHITECT No. 12928					
M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET, BELMAR, NEW JERSEY 07719 (732) 556-3055 FAX: (732) 556-902					
COMM. No. 201102					

FIRST AVENUE HOUSE



SOUTH ELEVATION

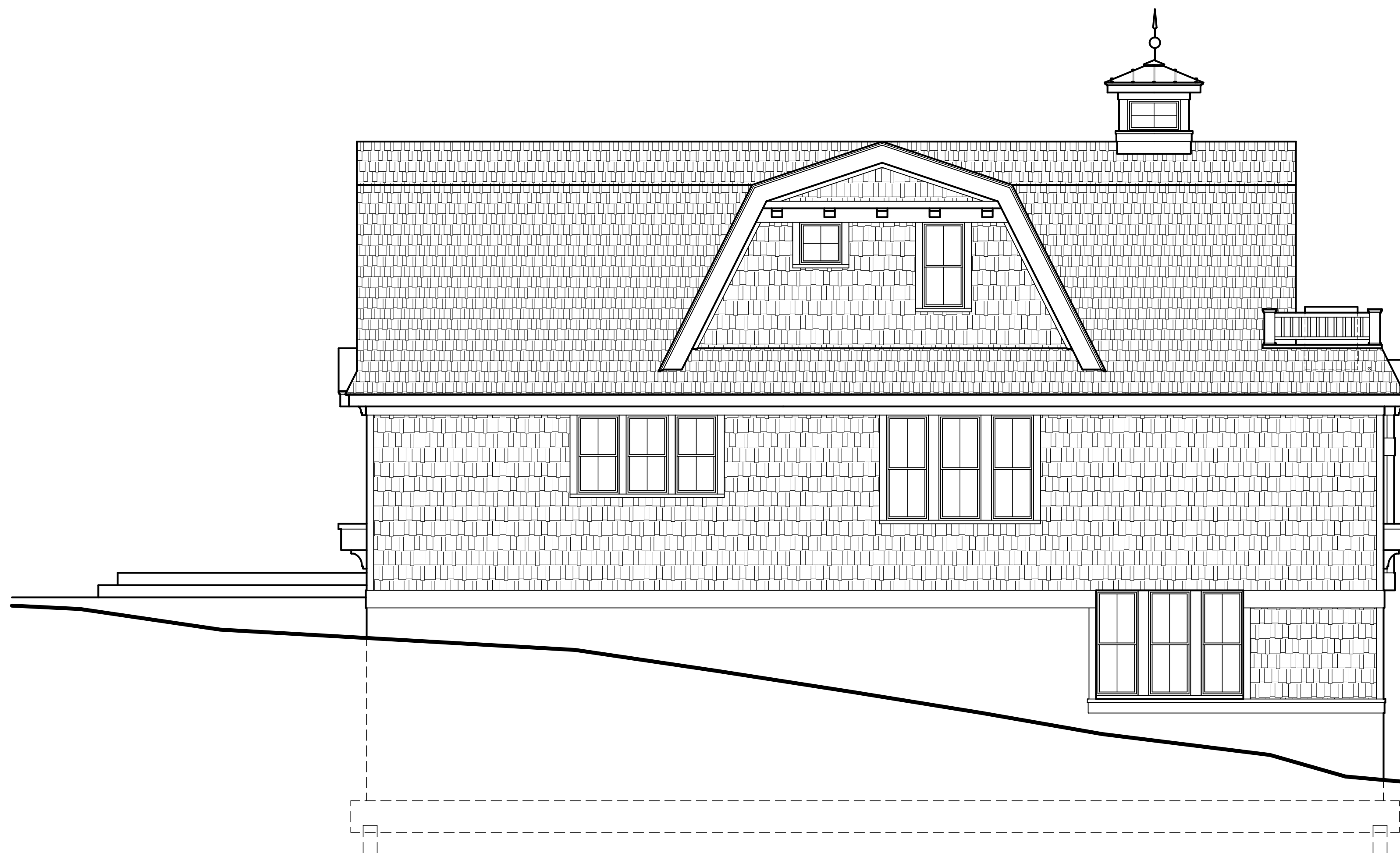
SCALE: 1/4" = 1'-0"

0.00'



WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

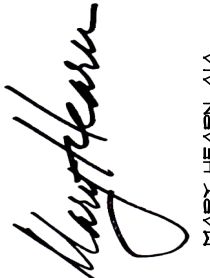
SCALE: 1/4" = 1'-0"

0.00'

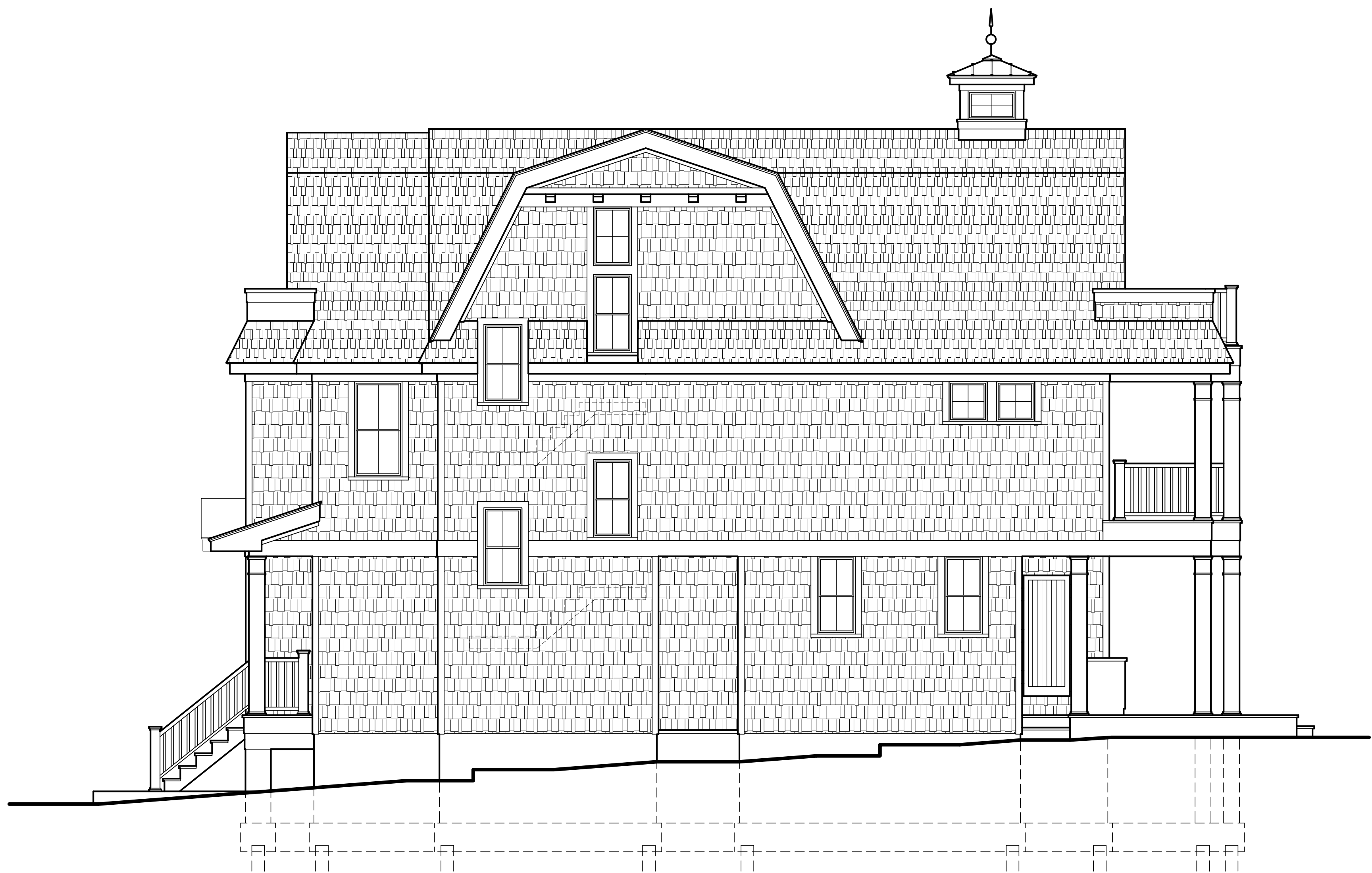


EAST ELEVATION

SCALE: 1/4" = 1'-0"

REV # 5-25-21		ELEVATIONS	
MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ		Scale	NOTED
Date	4-27-21	Approved	
Drawn By	M.B.H.	Sheet No.	4 OF 7
 MARY HEARN, AIA REGISTERED ARCHITECT N.J. 010000000		M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET, BELMAR, NEW JERSEY 07719 (732) 556-3055 FAX: (732) 556-3002	
COMM. NO. 201102		13	

BEACH HOUSE



SOUTH ELEVATION

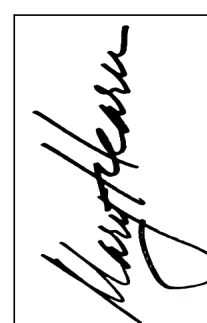
SCALE : 1/4" = 1'-0"



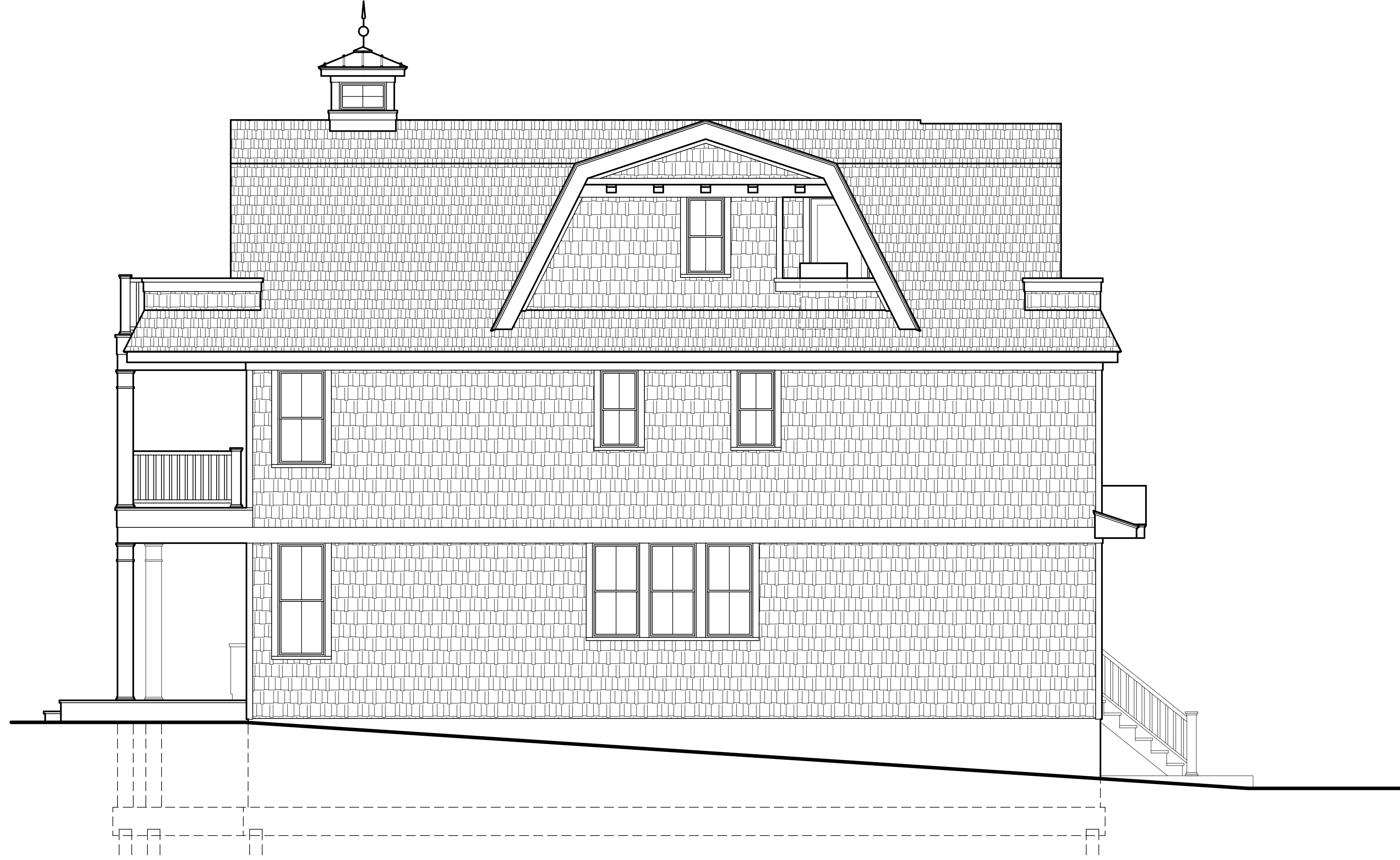
EAST ELEVATION

SCALE : 1/4" = 1'-0"

FFF 22.5'
 FIN GRADE EAST 21.0'
 FIN GRADE WEST 17.5'
 BFE 16.0'
 TO BEACH WALK 13.5'
 (1800 FT AWAY)

REV # 5-25-21		MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ		Sheet No. 5 OF 7
ELEVATIONS		Drawn By M.B.H.	Approved NOTED	Date 4-27-21
 <small>M. B. HEARN, AIA REGISTERED ARCHITECT C. 12005</small>		M. B. HEARN ARCHITECTURE, LLC 1007B MAIN STREET, BELMAR, NEW JERSEY 07719 (732) 556-8055 FAX: (732) 556-902		
Comm. No. 201102				

BEACH HOUSE



NORTH ELEVATION

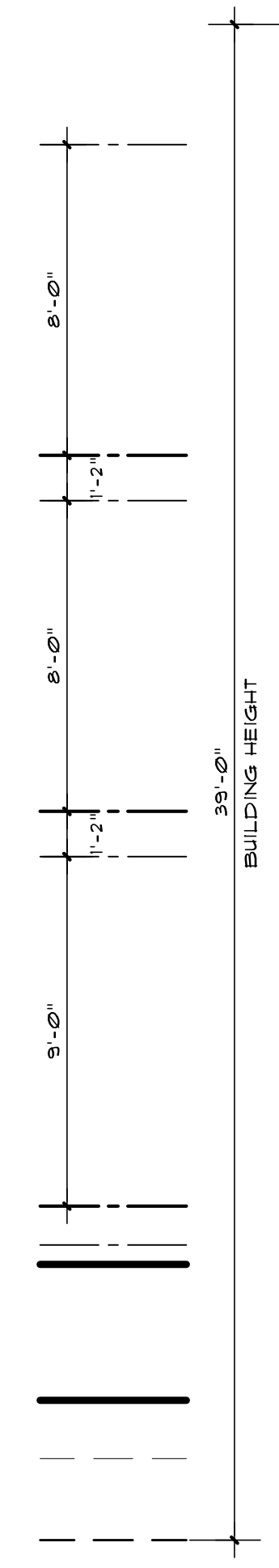
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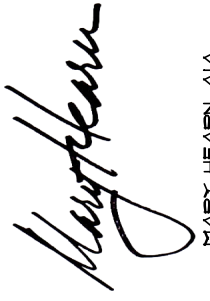


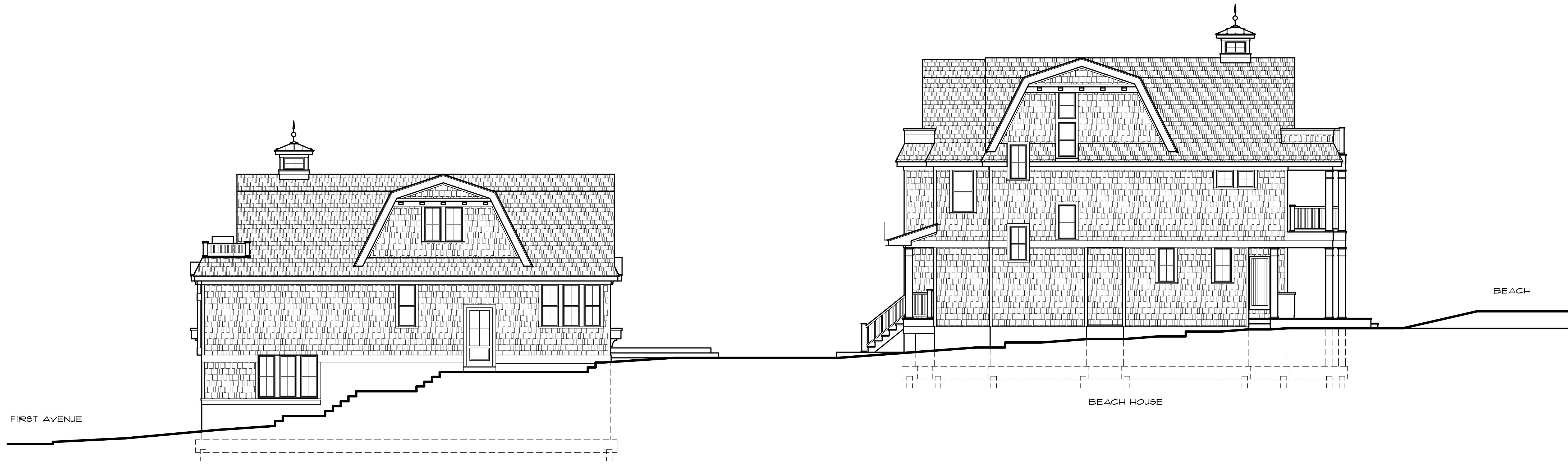
WEST ELEVATION

SCALE : 1/4" = 1'-0"

FFF 22.5'
 FIN GRADE EAST 21.0'
 FIN GRADE WEST 17.5'
 BFE 16.0'
 T.O. BEACH WALK 13.5'

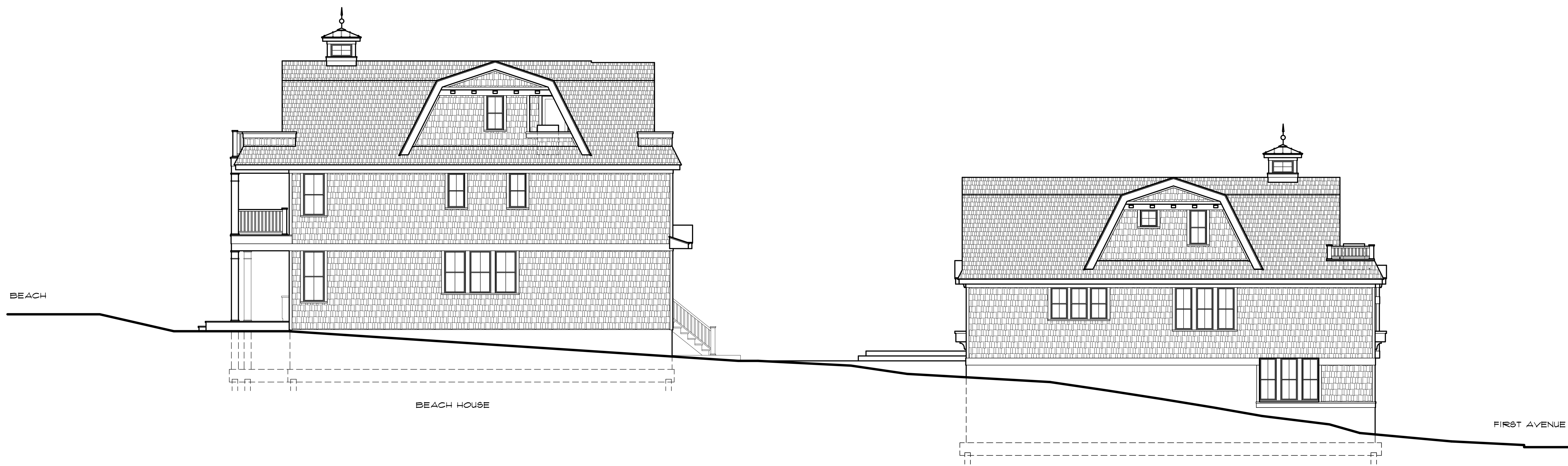


REV # 9-25-21		MILLER RESIDENCES 43 BEACHFRONT/42 FIRST AVE BOROUGH OF MANASQUAN, NJ		Sheet No. 6 OF 7
ELEVATIONS		Drawn By: M.B.H.	Approved:	Scale: NOTED
 MARY HEARN, AIA REGISTERED ARCHITECT		1007B MAIN STREET, BELMAR, NEW JERSEY 07718 (732) 556-8055 FAX: (732) 556-902		
M. B. HEARN ARCHITECTURE, LLC		Comm. No. 201102		



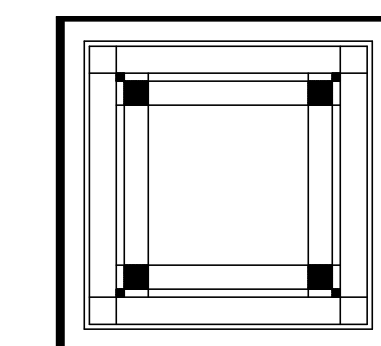
SOUTH ELEVATION

SCALE : 3/16" = 1'-0"



NORTH ELEVATION

SCALE : 3/16" = 1'-0"



REV # 9-25-21

MILLER RESIDENCES
43 BEACHFRONT/42 FIRST AVE
BOROUGH OF MANASQUAN, NJ

Sheet No. 1 OF 1

ELEVATIONS

Drawn By: M.B.H.

Approved:

Scale: NOTED

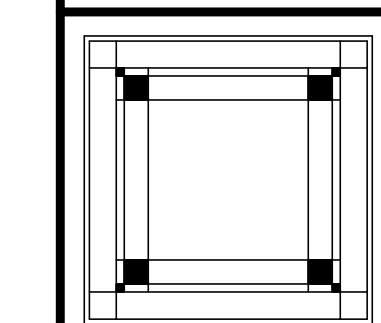
Date: 4-27-21

M. B. Hearn

MARY HEARN, AIA
REGISTERED ARCHITECT
C. 12008

M. B. HEARN ARCHITECTURE, LLC

1007B MAIN STREET, BELMAR, NEW JERSEY 07719
(732) 556-9055 FAX: (732) 556-902



Comm. No. 201102

PAUL K. LYNCH
LAND SURVEYORS
P.O. BOX 1453
WALL, NEW JERSEY 07719
PHONE (732) 681-4035
EMAIL- pklynchis @ gmail.com

*** SURVEYORS REPORT 570321165-15.01 ***

March 11, 2021

Mary Hearn
Architect
M.B. Hearn Architecture, LLC
1007 B Main Street
Belmar, N.J. 07719

Reference:

PLJT Associates, LLC
43 Beachfront
Tax Map Lot 15.01 Block 165
Manasquan Borough, N.J.

Dear Ms. Hearn:

The elevation of the north end of the beachfront walk at SeaWatch beach is **13.90** NAVD 1988 which is the reference datum for the topographic survey of the above lot dated 1-08-2021.

If you have questions or clarifications please feel free to call our office.

Sincerely yours,


Paul K. Lynch LS

June 9, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05
74 Ocean Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Topographic Survey prepared by Edward Weinert, P.L.S., of WSB Engineering Group, PA, dated July 14, 2021.
2. Variance Map prepared by Frank Baer, PE, PP, of WSB Engineering Group, PA, dated September 28, 2020, last revised March 24, 2021.
3. Architectural Floorplans and Elevations, prepared by David Feldman, RA, of Feldman & Feldman Architects, dated February 10, 2021.

The property is located in the R-2 Single-Family Residential Zone with frontage on Ocean Avenue. With this application, the applicant proposes to construct a new two-story raised dwelling and associated site improvements on the existing lot. The application is deemed complete as of June 9, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 11.9 feet is proposed.
 - b. A maximum building coverage of 30% is permitted, whereas a building coverage of 35.07% is proposed.

RECEIVED JUN 11 2021

Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05

June 9, 2021
Sheet 2

- c. A maximum lot coverage of 45% is permitted, whereas a lot coverage of 51.47% is proposed.
3. The following non-conformities exist on Lot 18.05 and are not proposed to be modified as part of this application:
 - a. A minimum lot area of 5,000 square feet is required, whereas an area of 4,504 square feet exists and is proposed.
 - b. A minimum lot frontage of 50 feet is required, whereas a frontage of 37.5 feet exists and is proposed.
4. If a concrete landing is proposed for the front stairs it must be shown on the plan. This may also increase the lot coverage variance so the applicant's engineer should provide a revised coverage calculation if a pad is to be provided.
5. It should be confirmed that the proposed building height as provided is being measured from the top of curb at the front of the lot.
6. A stormwater management system as required by the borough's stormwater ordinance is proposed however, details for the recharge systems and the connections from the gutters to the system must be shown. Slotted cover should also be provided on the gutter overflows at grade.
7. A grading plan for the property has been provided, however there appears to be a small low area at the rear northeast corner of the property. The applicant's engineer should comment on how this area will drain or be addressed.
8. The required two parking spaces are provided which are accessed by an existing shared driveway easement with adjacent Lot 18.01
9. The proposed first floor elevation of the dwelling at 14.2 feet where the current base flood elevation is 9 feet.
10. The mechanicals for the dwelling are proposed in the easterly side yard on a raised platform but are located outside of the 5 feet side yard setback.
11. The method of property stabilization (stone, grass) should be indicated on the plot plan.
12. Any proposed utilities should be located underground if possible. The locations of the water and sewer laterals should be shown on the plan.
13. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
14. Any curb and sidewalk must be replaced along Ocean Avenue as necessary.



Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05

June 9, 2021
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
MANASQUAN PLANNING BOARD
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
Frank Baer, PE, PP
WSB Engineering Group, 1018 Schencks Mill Line Road, Toms River, NJ 08753

Revised
August 11, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05
74 Ocean Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Topographic Survey prepared by Edward Weinert, P.L.S., of WSB Engineering Group, PA, dated July 14, 2021.
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3. Architectural Floorplans and Elevations, prepared by David Feldman, RA, of Feldman & Feldman Architects, dated February 10, 2021.

The property is located in the R-2 Single-Family Residential Zone with frontage on Ocean Avenue. With this application, the applicant proposes to construct a new two-story raised dwelling and associated site improvements on the existing lot. The application was previously deemed complete on of June 9, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 11.9 feet is proposed.
3. The following non-conformities exist on Lot 18.05 and are not proposed to be modified as part of this application:

Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05

August 11, 2021
Sheet 2

- a. A minimum lot area of 5,000 square feet is required, whereas an area of 4,504 square feet exists and is proposed.
 - b. A minimum lot frontage of 50 feet is required, whereas a frontage of 37.5 feet exists and is proposed.
4. Revised architectural plans must be submitted to demonstrate conformance with the submitted engineering plan.
5. Addressed. The concrete landing has been shown on the plan and included in the lot coverage calculation.
6. Addressed. The applicant's engineer has provided calculations that the building height is measured from the existing top of curb elevation
7. A stormwater management system as required by the borough's stormwater ordinance is proposed however, details for the recharge systems and the connections from the gutters to the system must be shown. Slotted cover should also be provided on the gutter overflows at grade.
8. A grading plan for the property has been provided, however there appears to be a small low area at the rear northeast corner of the property. The applicant's engineer should comment on how this area will drain or be addressed.
9. The required two parking spaces are provided which are accessed by an existing shared driveway easement with adjacent Lot 18.01
10. The proposed first floor elevation of the dwelling at 14.2 feet where the current base flood elevation is 9 feet.
11. The mechanicals for the dwelling are proposed in the easterly side yard on a raised platform but are located outside of the 5 feet side yard setback.
12. The method of property stabilization (stone, grass) should be indicated on the plot plan.
13. Any proposed utilities should be located underground if possible. The locations of the water and sewer laterals should be shown on the plan.
14. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
15. Any curb and sidewalk must be replaced along Ocean Avenue as necessary.



Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05

August 11, 2021
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Al Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
MANASQUAN PLANNING BOARD
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
Frank Baer, PE, PP
WSB Engineering Group, 1018 Schencks Mill Line Road, Toms River, NJ 08753

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT
BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736



732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

May 4, 2021

Keith Henderson, Esq.
52 Be Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 162 Lot: 18.05 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.
Baldino – 74 Ocean Avenue

Dear Sir:

On this date we reviewed your revised application for the following project.

Remove the existing dwelling and construct a new two story single family dwelling with a widows walk on the roof.

Revised plot plan prepared by Frank Baer on March 24, 2021. Revised conceptual plans prepared by David Feldman on February 10, 2021. Stormwater calculations prepared by Frank Baer on March 24, 2021.

Application denied for the following reason(s):

Section 35-9.4 – Lot Frontage – 50ft. Required
37.5ft. Existing

“ - Lot Area – 5,000s.f Required
4504s.f. Existing

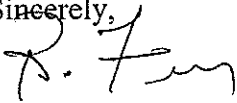
“ - Rear Setback – 20ft. Required
11.9ft. Proposed

“ - Building Coverage – 30% Permitted
35.07% Proposed

“ - Lot Coverage – 45% Permitted
51.47% Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: John & Cheryl Baldino

Address: 82 Hollow Rd.
Skillman, NJ 08558-1403

Phone: 609-466-9124

**Property Address: 74 Ocean Avenue
Block 162, Lot 18.05 Zone R-2
Flood Zone: AE
Manasquan, New Jersey 08736**

II. TYPE OF APPLICATION: Bulk Variances

Section 35-9.4

	REQUIRED	EXISTING	PROPOSED	Variance
Area of Lot	5,000 SF	4,504 SF	4,504 SF	Existing Non-Conformity*
Percentage of Lot Coverage (Building)	30%		35.07%	Yes**
Percentage of Lot Coverage (Imp)	45%		51.47%	Yes**
Lot Frontage	50 ft.	37.50 ft	37.50 ft.	Existing Non-conformity*
Front Setback	25 ft	26.5 ft	43.9 ft	No
Rear Setback	20 ft	50.7 ft	11.9 ft	Yes**
Building Height-Stories	33 ft. For dwelling on non-conforming lot 2.5 stories	<33 ft 2 Stories	32.98 ft 2 stories and a widow's walk	No
Side Setback (L)	5ft	4.6 ft	5.1 ft	No
Side Setback (R)	5 ft	20'3" ft	7.6 ft	No

Existing Non-Conformity *

Variance Requested **

III. SITE INFORMATION:

Street Address: 74 Ocean Avenue

Block 162 Lot 18.05

Zoning Districts: R-2

Present Use: Two Family Residential Dwelling

Proposed Use: One Single Family Residential Dwelling

VI. ZONE REQUIREMENTS: R-2 Zone

Min. Lot Area: 5,000 sq ft

Min Lot Frontage: 50 ft

Front Yard Setback: 25 ft

Side Setback: 5 ft

Rear Setback: 20 ft

Max. Bldg. Height: 33 ft

Max Stories: 2.5

Max. Bldg. Coverage: 30%

Max. Lot Coverage: 45%

V. MISCELLANEOUS:

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes
4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? None to the applicant's knowledge.
5. Are there any deed restrictions, easements or covenants affecting the property? Applicant will provide upon receipt.

VI. COMMENT:

Applicant seeks approval to remove all of the existing buildings and structures on the property, construct a new two-story single-family dwelling with a 50 square foot open widow walk on the roof, as permitted under **Section 35-11.8b**, and shall provide for parking in the front of the dwelling due to insufficient space for parking in the rear yard area, in accordance with the terms and conditions set forth in **Section 35-7.8d**.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

Date

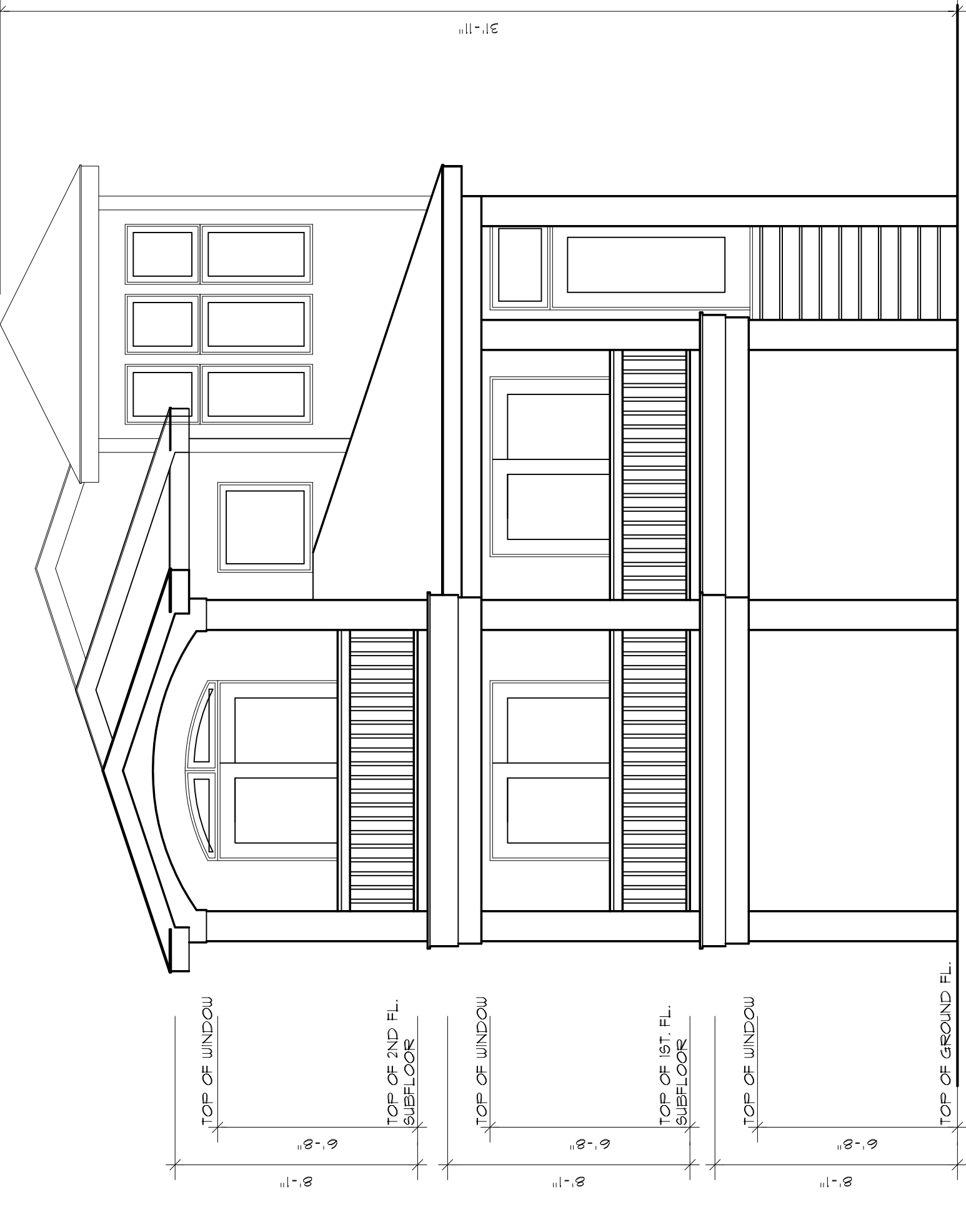
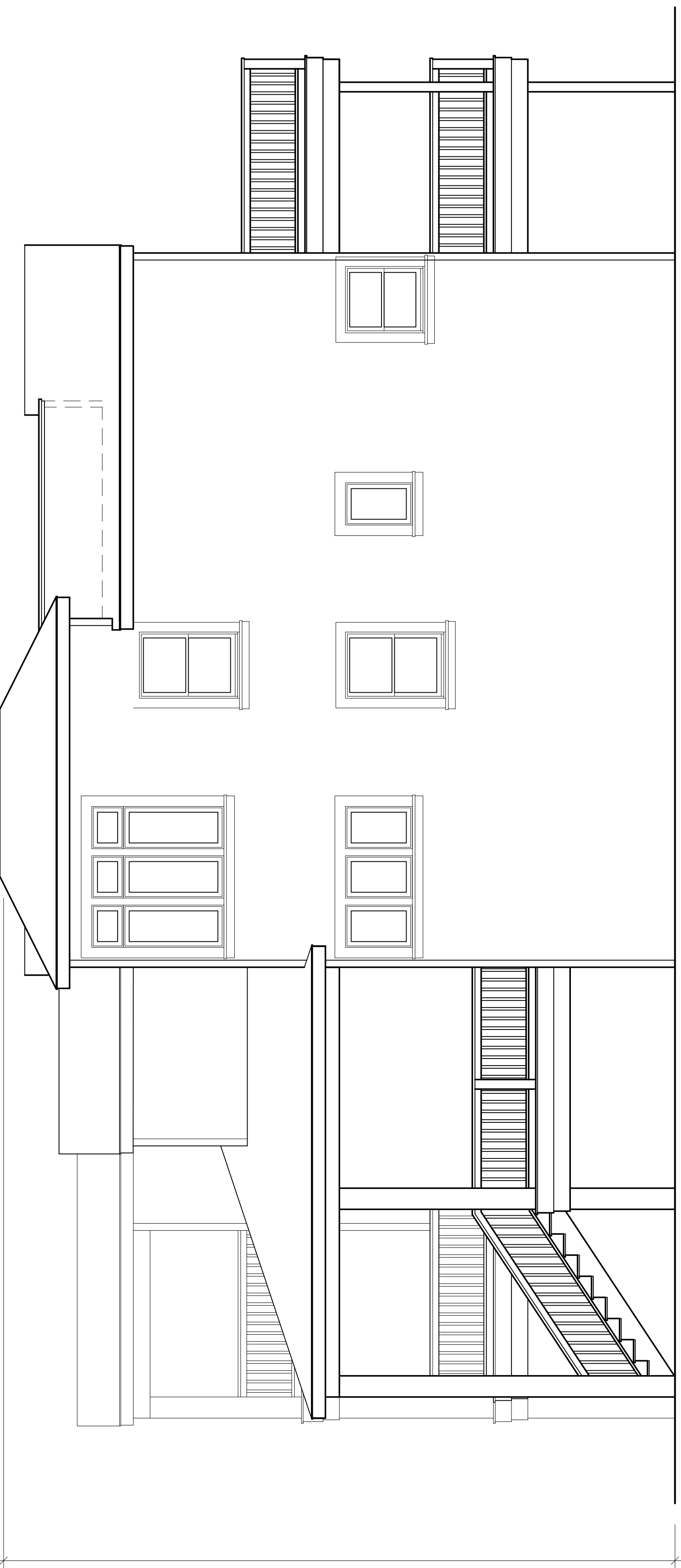
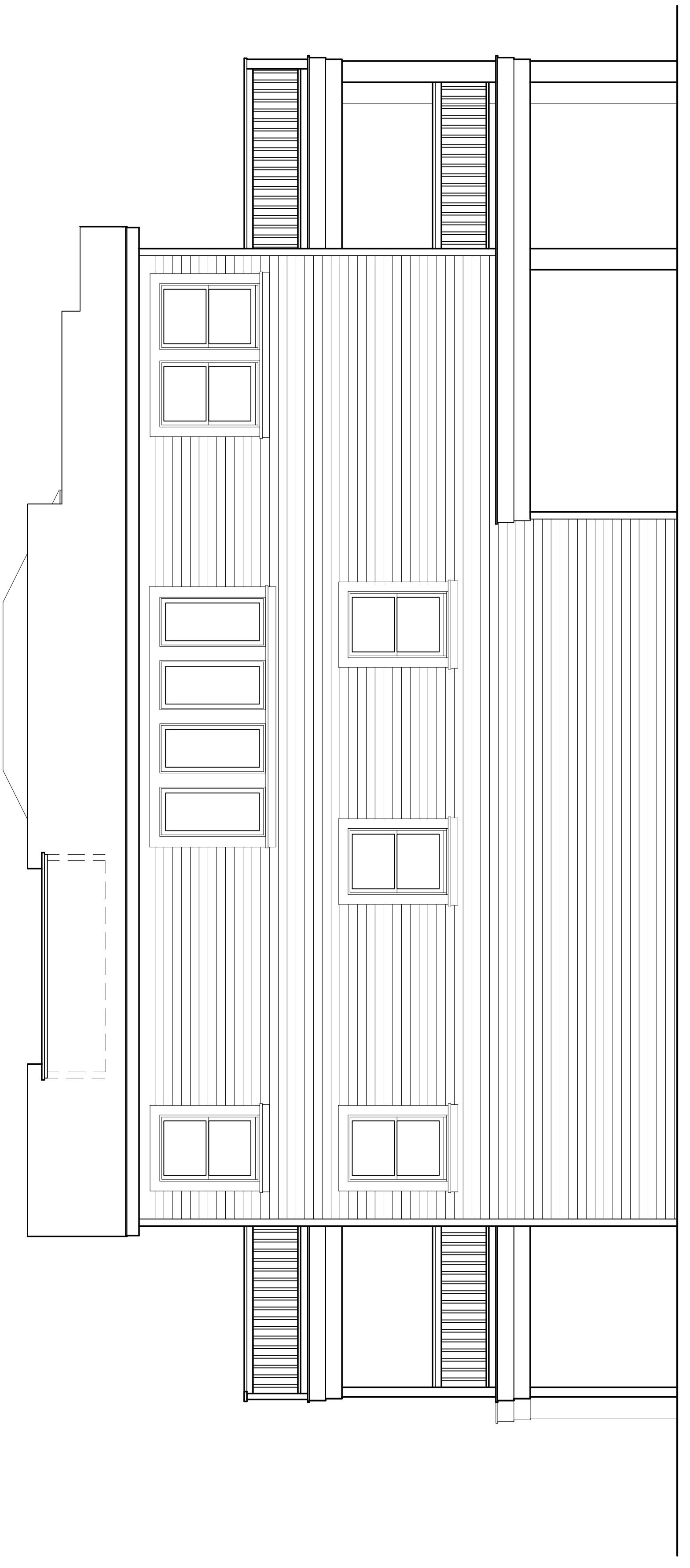
C. KEITH HENDERSON, ESQ
Attorney for Applicant

ELEVATIONS

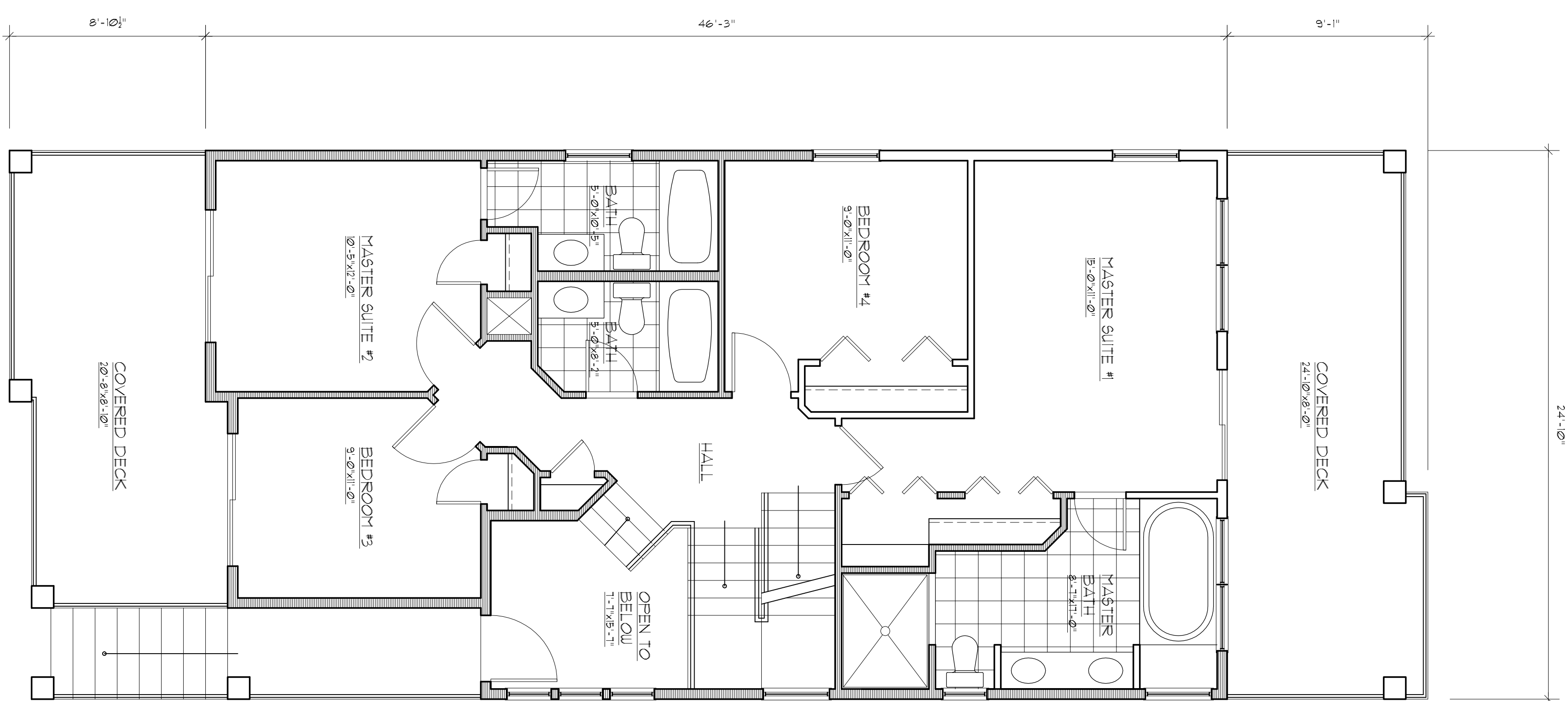
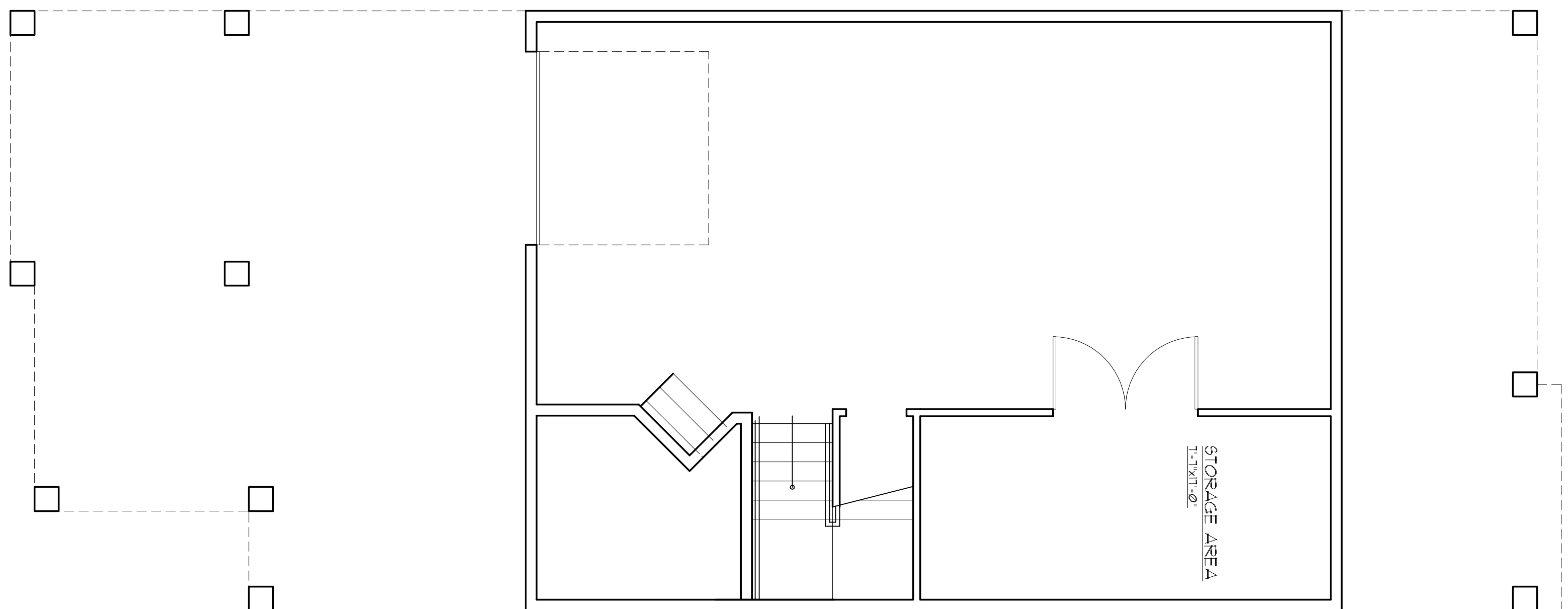
NEW CONSTRUCTION FOR:
John Balduino
74 Ocean Avenue
MANASQUAN, NEW JERSEY



DAVID H. FELDMAN, R.A., AIA
NEW JERSEY ARCHITECTS: FLD-AR-00000032
NEW JERSEY ARCHITECTS: FLD-AR-00000033
NEW JERSEY ARCHITECTS: FLD-AR-00000034
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NEW JERSEY ARCHITECTS: FLD-AR-00000098
NEW JERSEY ARCHITECTS: FLD-AR-00000099
NEW JERSEY ARCHITECTS: FLD-AR-00000100



Documents prepared by the architect are accurate and complete for use as shown, but they do not constitute a contract. The architect shall remain liable for all common law, statutory and other obligations, including the right to sue for damages. The architect's responsibility is limited to the design and construction of the building as shown on the drawings.



Documents prepared by the Architect are prepared for use solely with respect to the project. The Architect shall remain liable for the accuracy and completeness of the information provided to the Architect. The Architect shall not be responsible for the accuracy or completeness of the information provided to the Architect by the client or other third parties.

A2

PROJECT: 2010
 DN: BY: JC
 SHEET: 1 OF 3

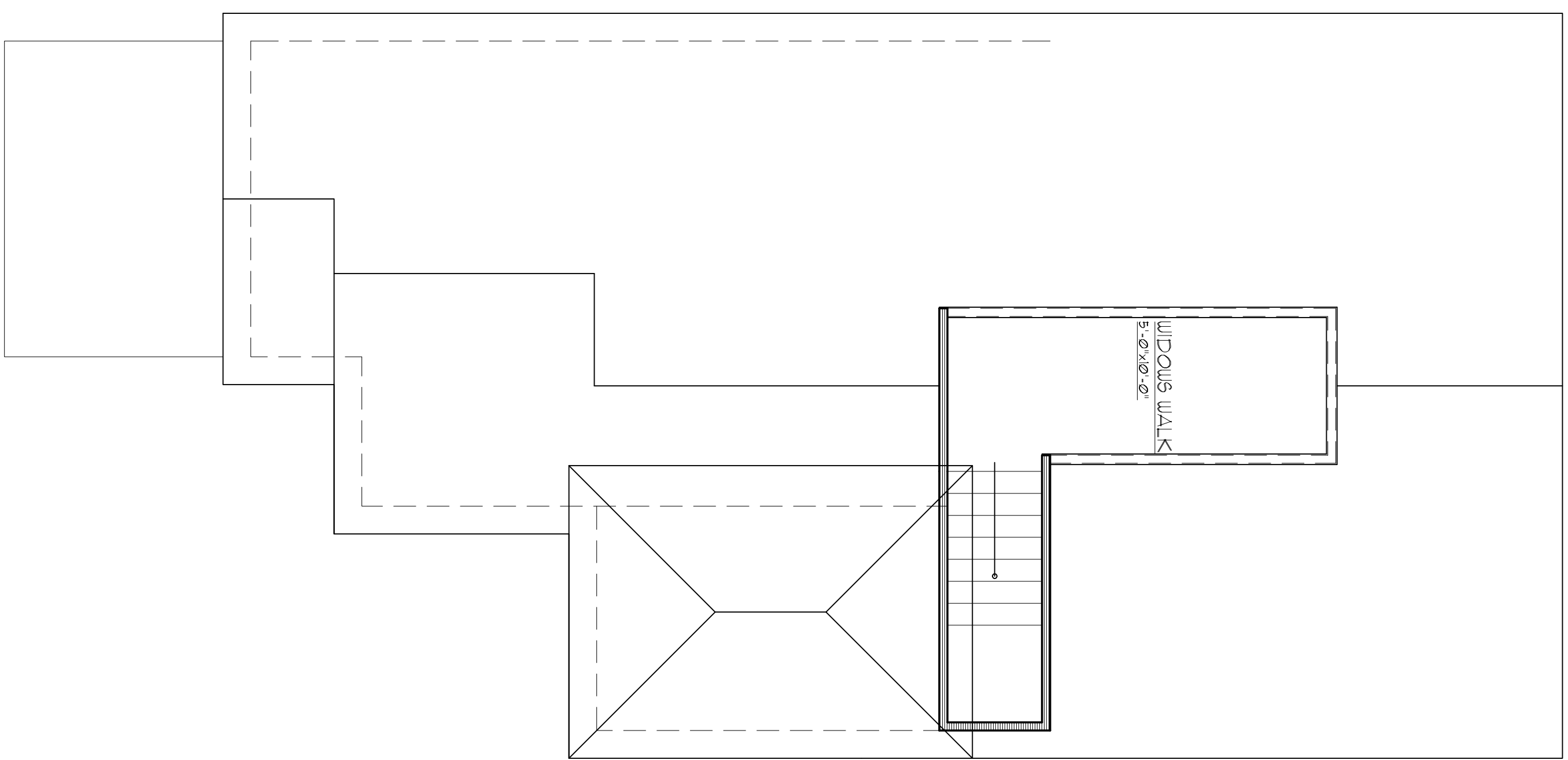
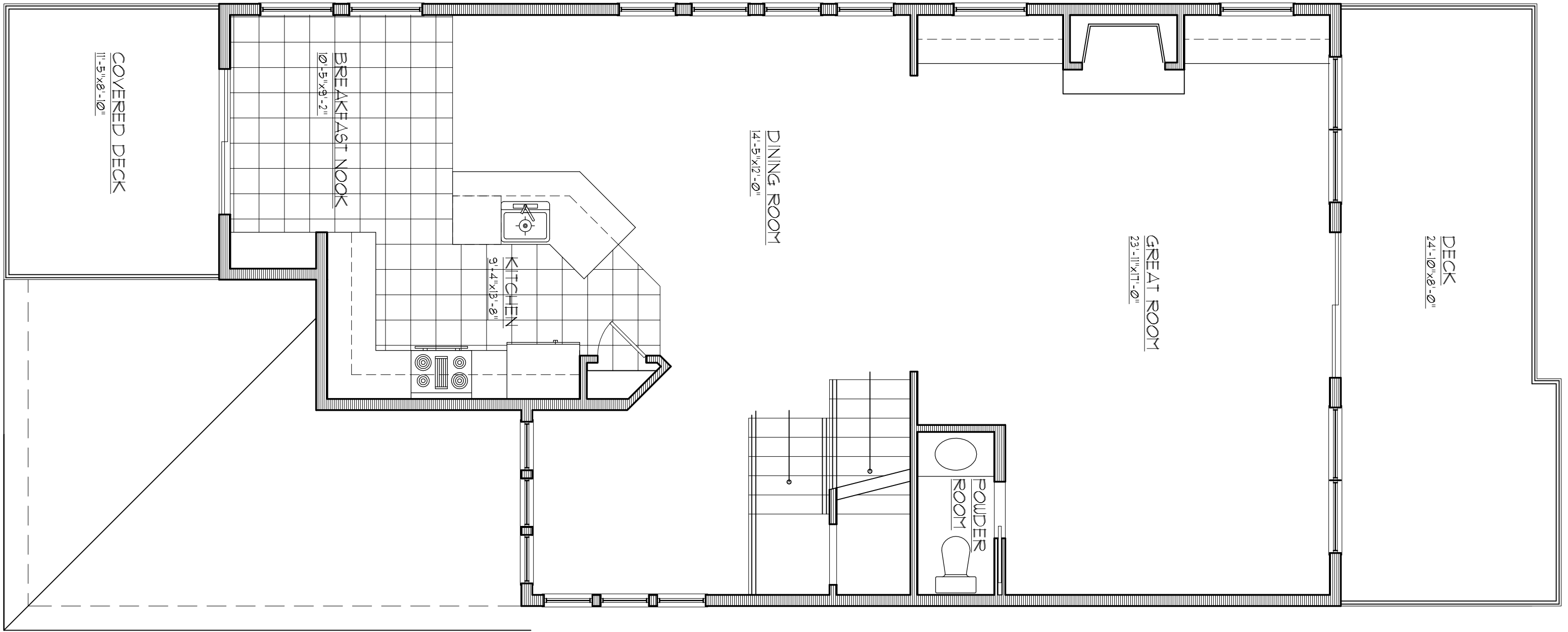
**GROUND FLOOR PLAN &
 SECOND FLOOR PLANS**

NEW CONSTRUCTION for:
 John Baldino
 14 Ocean Avenue
 MANASQUAN, NEW JERSEY



David H. Feldman, R.A., AIA
 N.J. A11721 TX-24785 FL A-881542
 NY A-02610211 CT A-48100831
 PA A-04463311 VA A-04004026
 Marjorie Dopart-Feldman, R.A., AIA, NCARB
 N.J. A11543 VT A-0202047553
 MD A-1566 VA A-04003843
 SC A-9604 NC A-14633 ME A-RC3610 RI A-5123

FIELD: 0-5-2020



Documents prepared by the Architect are intended for use solely with respect to the project. The Architect shall remain liable for the accuracy and completeness of the information provided to the Architect. The Architect shall not be responsible for the accuracy or completeness of the information provided by the client.

PROJECT: 2010
 DAN BY: JC
 SHEET: 3 of 3

SECOND FLOOR
ROOF PLANS

NEW CONSTRUCTION for:
 John Baldino
 14 Ocean Avenue
 MANASQUAN, NEW JERSEY



David H. Feldman, R.A., AIA
 N.J. A11721 TX-24789 FL-A831542
 NY-A0610211 CT-A81000931
 PA-A440311 VA-A04004026
 Marjorie Dopart-Feldman, R.A., AIA, NCARB
 N.J. A11543 VT-A000047553
 MD-A1566 VA-A04001343
 SC-A-9604 NC-A4633 ME-A03610 RI-A-5123

FIELD: 0-5-2010

A3

200' Property Owners

BOROUGH OF MANASQUAN
CERTIFIED LIST OF PROPERTY OWNERS - 74 OCEAN AVE (BLOCK 162 / LOT 18.05)
REQUESTED 9/17/20

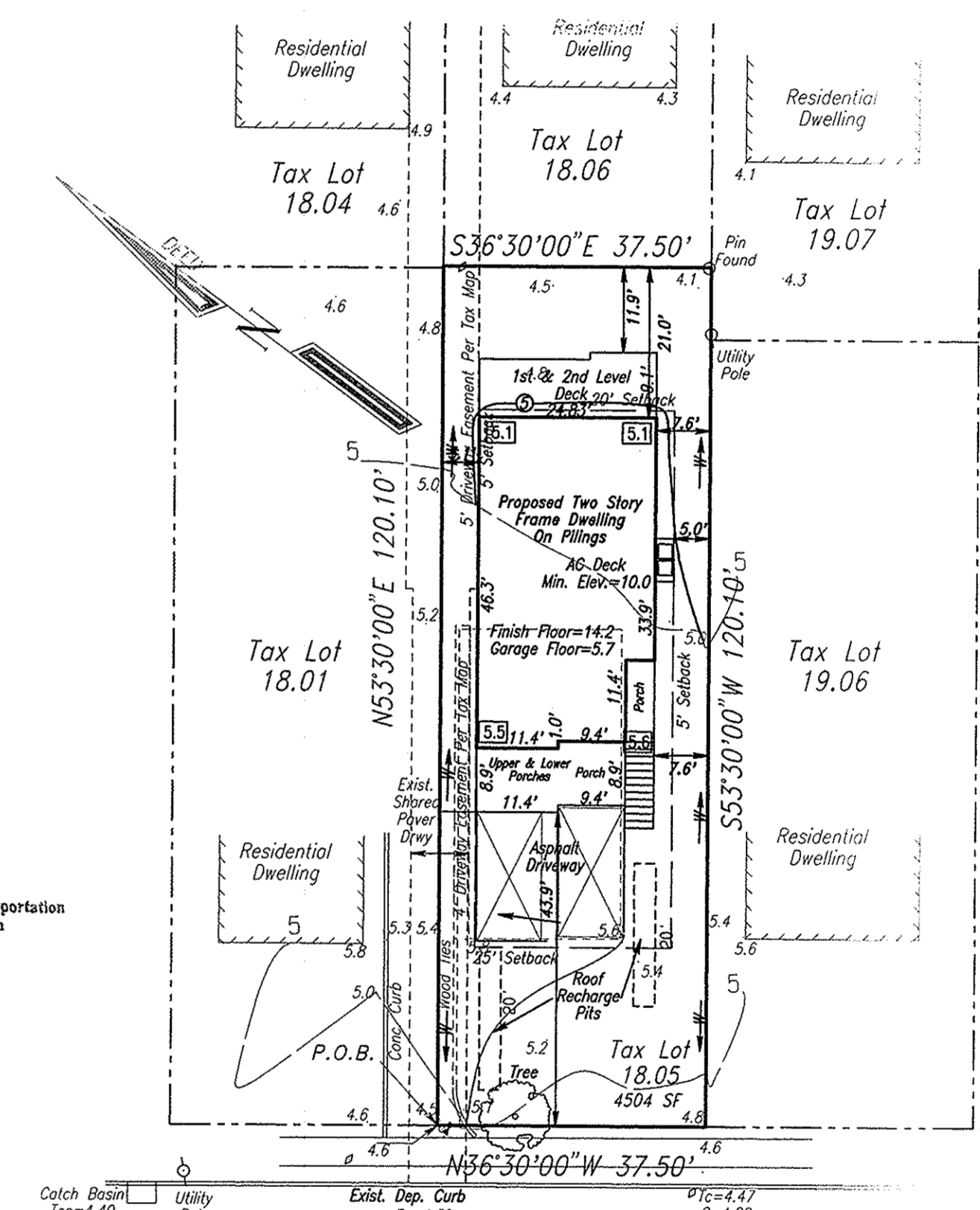
100.01	1	BOROUGH OF MANASQUAN	150 STOCKTON LAKE BLVD	201 E MAIN ST	MANASQUAN, NJ 08736
157	15.01	AVIA, KAREN	57 OCEAN AVE	6626 MEANDERING WAY	LAKEWOOD HANCO, PA 15402
157	15.02	FRALOWSKI, FRED	59 OCEAN AVE	59 OCEAN AVE	MANASQUAN, NJ 08736
157	16	KROLIAN, MARC J & LISA	61 OCEAN AVE	30 CONTINGENTAL RD	MORRIS PLAINS, NJ 07950
157	17.01	ZACCAGNINI, JOSEPHINE	67 OCEAN AVE	530 VALLEY RD APT 3N	MONTCLAIR, NJ 07043
157	17.04	GENITILE, MARIO & PATRICIA	65-65-1/2 OCEAN AVE	66 OCEAN AVE	MANASQUAN, NJ 087363219
157	18	THOMAS FERRIOTT FAMILY TRUST	69 OCEAN AVE	65 MADDOXBROOK RD	RANDOLPH, NJ 07870
157	19.01	MINUTY, ROBERT L JR & LESLIE	75 OCEAN AVE	25 HILLOCK AVE	HAWTHORNE, NJ 07056
157	19.02	TROST, HENRY R & TROST, CATHERINE W	73 OCEAN AVE	824 POST RD	BRILLE, NJ 087301724
157	20.01	MONETTI, LEWIS & BAISSARD, JUDITH	77 OCEAN AVE	14 SPRING BROOK RD	MORRISTOWN, NJ 079606320
157	20.04	ENGLESSE, JAMES JR & ANA W	79-79-1/2 OCEAN AVE	70 OCEAN AVE	MANASQUAN, NJ 087363219
157	20.05	KEARNS, KRYN & FRANCES A	77-1/2 OCEAN AVE	77-1/2 OCEAN AVE	MANASQUAN, NJ 087363219
157	21	THERMANN, WILLIAM D	83 OCEAN AVE	812 LAKE AVE	SPRING LAKE, NJ 077621926
157	22	RUANG, KAREN	85 OCEAN AVE	85 OCEAN AVE	MANASQUAN, NJ 08736
157	23	BATEMAN, THOMAS R & KATHERINE R	42 PEARCE CT	PO BOX 155	MANASQUAN, NJ 087361155
157	29	PASCALLE, MICHAEL A & KATHLEEN	74-76 ROGERS AVE	11606 HITCHING POST LN	ROCKVILLE, MD 208524404
157	30	DIUBALDI, ROBERT D & GINA M	72 ROGERS AVE	72 ROGERS AVE	MANASQUAN, NJ 08736
162	14	PRIOR, DONALD M TRUST	54-54-1/2 OCEAN AVE	54-1/2 OCEAN AVE	MANASQUAN, NJ 087363220
162	15	O'DOYLE, MICHAEL T & BARBARA F	60 OCEAN AVE	60 OCEAN AVE	MANASQUAN, NJ 087363220
162	16	JANZIGALYCE, MAGIE	62 OCEAN AVE	PO BOX 8	CLIFTON, VA 20124
162	17.03	DOMBAL, ROBERT & PATRICIA TRUST	66 1/2 OCEAN AVE	3 FAIRBANKS RD	LEXINGTON, MA 02421
162	17.05	VACATION VILLAS, LLC	66 OCEAN AVE	3 FAIRBANKS RD	LEXINGTON, MA 02421
162	17.06	VACATION VILLAS, LLC	68 OCEAN AVE	3 FAIRBANKS RD	LEXINGTON, MA 02421
162	18.01	CASHEN-SHELDRIK, ROBIN	70 OCEAN AVE	4511 PROVINCE LINE RD	PRINCETON, NJ 08540
162	18.04	VERDI, DOUGLAS & PATRICIA	72 OCEAN AVE	18 CENTRAL AVE	GLEN ROCK, NJ 07452
162	18.05	BALDINO, JOHN & CHERYL	74 OCEAN AVE	88 HOLLOW RD	SKILLMAN, NJ 08558-4603
162	18.06	FRANZETTI, CARL J & CATHERINE	74-1/2 OCEAN AVE	485 WESTCHESTER AVE	TUCKAHOE, NY 10771-1325
162	19.06	ZANPAGNA, GARY P & HARGOOD, LINDA S	76 OCEAN AVE	240 E DUDLEY AVE	WESTFIELD, NJ 070903102
162	19.07	GRIB, WILLIAM R & IRMA H	76 1/2 OCEAN AVE	76 1/2 OCEAN AVE	MANASQUAN, NJ 08736
162	20.02	FERRANTE, ROBERT & LINDA; GUZIK, J	80-80-1/2 OCEAN AVE	80 OCEAN AVE	MANASQUAN, NJ 087363220
162	21.01	COLLINS, JUDITH P	82 OCEAN AVE	82 OCEAN AVE	MANASQUAN, NJ 08736
162	21.04	CHAPMAN, MARTIN DEAN, TRUSTEE	86 OCEAN AVE	PO BOX 225	MANASQUAN, NJ 08736
162	21.05	CHAPMAN, MARTIN D	88 OCEAN AVE	PO BOX 225	MANASQUAN, NJ 08736
162	22.01	DARAGO, EVANGELINE	90 OCEAN AVE	90 OCEAN AVE	MANASQUAN, NJ 087363220



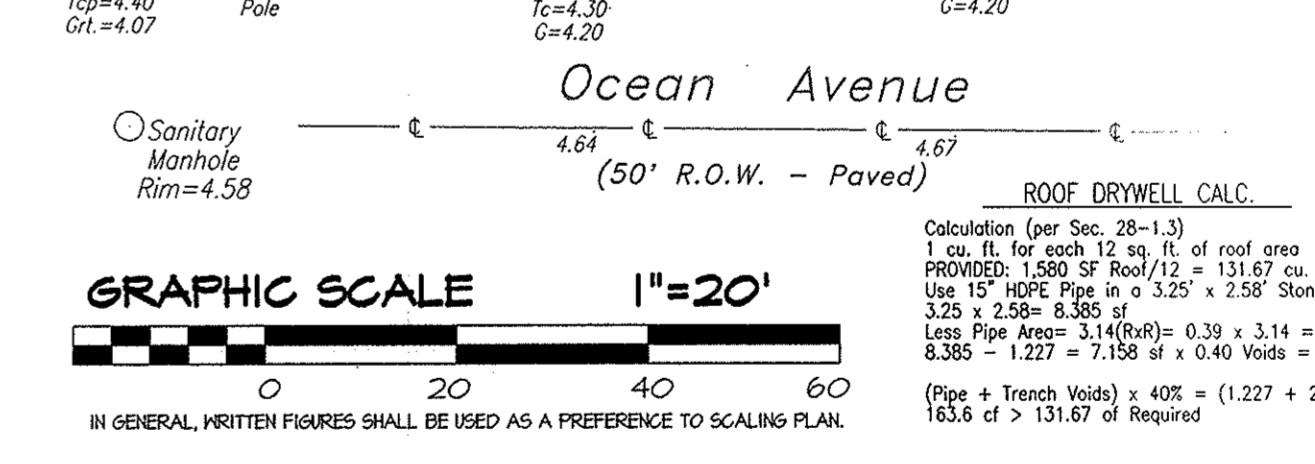
Key Map

IF THE ITEM BELOW IS CHECKED, YOU MUST SEND NOTIFICATION, IN ADDITION TO THE PROPERTY OWNERS ON THE ATTACHED LIST

- UTILITIES TO BE NOTIFIED**
- Jersey Central Power & Light Co
Customer Service
PO Box 16001
Reading, PA 19613-6001
 - Verizon
PO Box 4835
Trenton, NJ 08650-4833
 - NJ Natural Gas Company
1415 Wyckoff Rd
PO Box 1378
Wall, NJ 07715-0001
 - Cablevision
NJ American Water Company
Attn: Corporate Secretary
131 Woodcrest Rd
PO Box 5079
Cherry Hill, NJ 08034-9079
 - Monmouth County Planning Board
Hall of Records Annex
Second Floor
13 Midd St
Freehold, NJ 07723-2173
 - Monmouth County Highway Dept
250 Center St
Freehold, NJ 07723-2465
 - Township of Wall
Attn: Municipal Clerk
PO Box 1128
Wall, NJ 07719-1168
 - Borough of Brielle
Attn: Municipal Clerk
601 Union Ln
PO Box 445
Brielle, NJ 08730-0445
 - Borough of Point Pleasant Beach
Attn: Municipal Clerk
416 New Jersey Ave
Pt Pleasant, NJ 08742
 - State of New Jersey
Attn: Commissioner of Transportation
Department of Transportation
1055 Parkway Ave
Trenton, NJ 08625-2309



- Notes**
- THE PROPERTY IS KNOWN AND DESIGNATED AS TAX LOT 18.05 BLOCK 162 AS SHOWN ON BOROUGH TAX MAP SHEET #25
 - DEED REFERENCE: DEED BOOK 9705 P. 6393
 - TOPOGRAPHIC SURVEY INFORMATION FROM TOPOGRAPHIC SURVEY TAX LOT 18.05 BLOCK 162 BOROUGH OF MANASQUAN, MONMOUTH COUNTY BY EDWARD W. WEINERT, N.J.P.L.S. #12840, WSB ENGINEERING GROUP, P.A., JOB# 2001-188 DWG. 17/05, DATED 07-14-2001, UNDESIGNED, BENCHMARK: NATIONAL GEODETIC DISK #PP7888 ELEV.=7.72, DATUM 1988 NAVD
 - PROPERTY IS WITHIN FLOOD HAZARD ZONE "AE", E.L.8 PER THE F.L.H.M. FLOOD INSURANCE RATE MAP, PANEL NO. 456 OF 457, MAP NO. 50002P-05E, EFFECTIVE DATE SEPT. 26, 2009, DATUM NAVD 1988.
 - NOTICE - A PRELIMINARY F.E.R.M. ISSUED BY FEMA ON JAN. 31, 2014 RECLASSIFIES THE PROPERTY TO AN "AE" ZONE WITH AN ELEVATION OF 8.0
 - LOCATION OF EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY CO. AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS AS OTHER UNCHANGED UTILITIES MAY EXIST. CONTRACTOR IS RESPONSIBLE IN DETERMINING THE ACTUAL LOCATIONS, BOTH HORIZONTALLY AND VERTICALLY, OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION INVOLVING EXCAVATION OR OTHER GROUND DISTURBANCE. CONTRACTOR SHALL CONTACT NEW JERSEY ONE CALL AT LEAST 72 HOURS IN ADVANCE OF WORK 1-(800)-272-0900.
 - DWELLING TO BE SITUATED UPON OPEN PILES & ELEVATED CRAWL SPACE (GARAGE) WITH ANY ENCLOSED AREA BELOW THE LOWEST FLOOR OF DESIGN FLOOD HAZARD ELEVATION USED SOLELY FOR STORAGE, VEHICLE PARKING OR BUILDING ACCESS AND ANY ENCLOSURE IS PROVIDED WITH LATTICE OR OTHER MATERIAL ALLOWING PASSAGE OF FLOOD WATER AS REQUIRED BY RC/2009 BUILDING CODE AND FEMA LATEST EDITION. SEE SCHEMATIC FLOODING PLAN AND FINAL DESIGN SHOWN ON THE ARCHITECT'S PLAN.
 - USE ONLY PERMEABLE WEED BARRIER IN THE EVENT OF ANY MUDCH COVERING THAT IS USED FOR LANDSCAPING.
 - SEWER & WATER TO USE EXISTING SERVICE LINES.
 - NO DISPOSAL SHALL BE REMOVED FROM THE LOT & SHALL BE PLACED MIN. 4' DEEP.
 - EXISTING IMPERVIOUS: 1,588 SF
PROJECTS EXISTING & PROPOSED IMPERVIOUS: 2,218 SF
INCREASE=630 SF.
 - ROOF RUNOFF DIRECTED TO DRYWELLS. LOT GRADINGS TO DIRECT RUNOFF AWAY FROM ADJOINING DWELLINGS.
 - DRIVEWAY & DRIVEWAY APRON SHALL BE CONSTRUCTED ACCORDING TO SEC. 20.3 OF THE MUNICIPALITY'S LAND USE & DEVELOPMENT CODE.
 - ALL DISTURBED SOILS SHALL BE STABILIZED WITH DECORATIVE STONE, LANDSCAPING OR TOPSOIL & SEEDING WITH TURFGRASS. OUT OF SEASON SEEDING REQUIRED. MUDCH.
 - ELECTRIC METER TO BE INSTALLED PER JCPL REQUIREMENT WITH BOTTOM OF METER PAN SET AT MIN. ELEV. 11.0'. PRIOR TO ISSUANCE OF BUILDING PERMIT A "DR F" FROM JCPL SHALL BE PROVIDED.
 - NO EXISTING TREES TO BE REMOVED.



- Variances:**
- 35-9.4: LOT AREA - 5,000 SF REQUIRED, 4,504 SF EXISTING & PROPOSED
 - 35-9.4: LOT FRONTAGE - 50 FT REQUIRED, 37.5 FT EXISTING & PROPOSED
 - 35-9.4: REARYARD SETBACK - 20 FT REQUIRED, 11.9 FT TO DECK PROPOSED
 - 35-11.8a: PROHIBITED DECK ABOVE HIGHEST FINISHED FLOOR, ROOF DECK PROPOSED

Building Height Calc:
Bldg Height= 31.75
Garage Floor= 5.70
Top of Curb= 4.47
32.98

R-2 Zoning Schedule

Parameters:	Required	Provided
Min. Lot Area (SF)	5000	4504*
Min. Lot Frontage (Ft)	50	37.50*
Min. Front Setback (Ft)	25	43.9
Min. Side Setback (Ft)	5	5.1
Min. Side Combined (Ft)	10	12.7
Min. Rear Setback (Ft)	20	11.9**
Max. Lot Coverage (%)	45	51.47**
Max. Blgd. Height (Ft/Sy)	33/2.5	32.98/2.5

* Variance - Existing Condition
** Proposed Variance

03-24-21	Revise Per Zoning Review	BAD
03-05-21	Revise Zoning Table	BAD
date	revision	by ck.

Variance Map

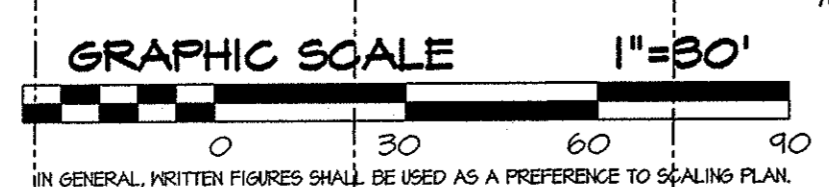
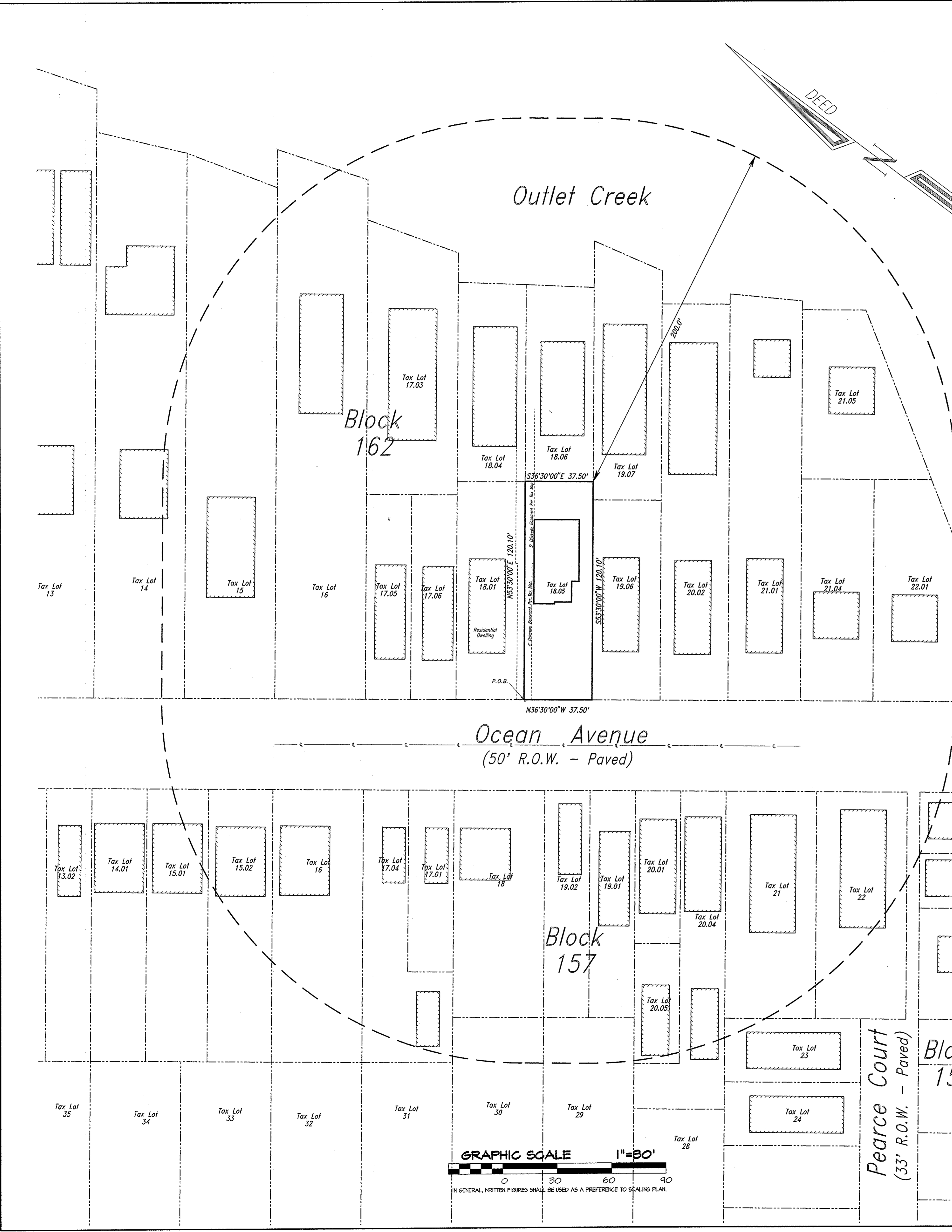
Tax Lot 18.05 Block 162

As Shown on the Boro of Manasquan Tax Map Sheet #25
Last Revised: November 2013
Tract Containing 4504 SF
Street Address: #74 Ocean Avenue

des.	date	scale	As Noted
dwn. BAD	09-28-20	job no. 2201-188	
chk.	sheet 1 of 1	dwg. no. 63368	B

WSB engineering group, p.a.
Weinert * Smilzins * Baer
engineering * environmental planning * surveying * landscape architecture
1018 Schenck's Mill Line Road, Tom's River, New Jersey 08753 (732) 244-1221 Fax (732) 505-8440
Prepared under the supervision of: Exempt from Certification of Authorization

FRANK J. BAER JR.
NJ Professional Engineer 2623207600 NJ Professional Planner 53.100230100
DATE 9/18/20

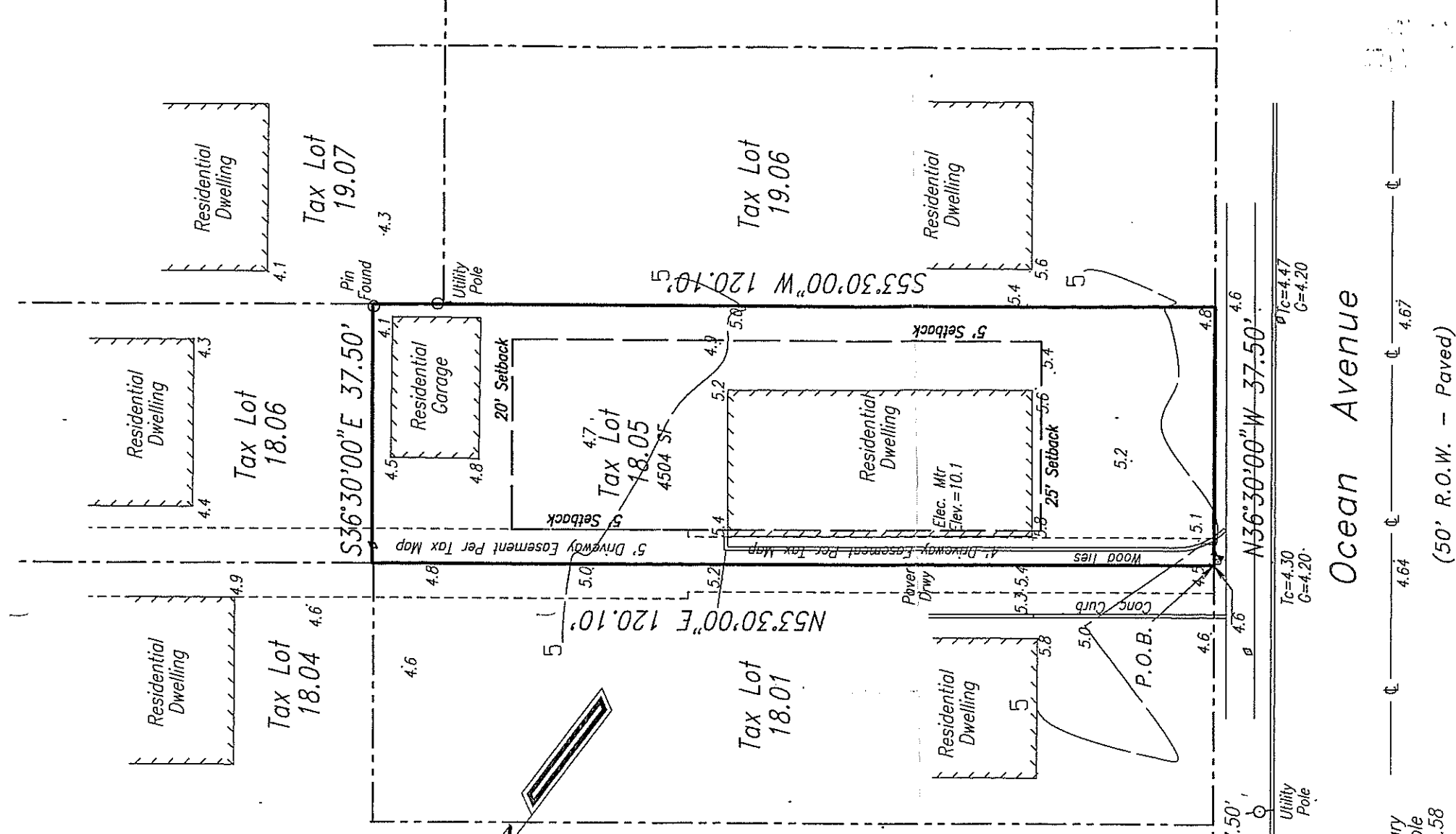


Building Location Dimensions Shown Hereon are not to be Used as a Basis for the Erection of Fences or Other Permanent Structures.
A Written Notice and Direction not to Sell Cancer Markers has been Obtained from the Ultimate User Pursuant to P.L.2003, c.14 (N.J.S.A. 45B-36.3) and N.J.A.C. 15A9-5.1(f).

The Certification of this Survey on the Date Shown is Limited to the Named Parties on the Purchase, Mortgage and/or the Issuance of Title Insurance on such Transactions of the Herein Delineated Property. No Responsibility or Liability is Assumed by the Certifying Surveyor and/or Firm for Use of the Survey for any Other Purpose Including, But not Limited to, Use of the Survey for Survey Affidavit, Resale of Property, and Direct or Indirect Use by Any Party Now Shown in the Certification.

Certified To;
John Baldino

DEED REFERENCE:
DB #9705 PG #6393



R-2 Zone Requirements

Parameter:	Required:	Provided:
Min. Lot Area (St)	5000	4504
Min. Lot Frontage (Ft)	50	50
Min. Front Setback (Ft)	25	25
Min. Rear Setback (Ft)	20	20
Min. Side Setback (Ft)	5	5
Min. Side Combined (Ft)	10	10
Max. Building Height (Ft/Sty)	35/2.5	35/2.5
Max. Bldg Coverage (%)	25	25
Max. Coverage (%)	35	35

N. Potter Avenue
(50' R.O.W. - Paved)

Benchmark: NGS Monument #DP7898
Elev.=7.72 (Datum=NAVD88)
The Entire Lot is in Flood Zone "AE" (Elev. 8)
Per F.I.R.M. Panel #34025C0456F.
Dated 09/26/2009

The Entire Lot is in Flood Zone "AE" (Elev. 9)
(No LIMWA) Per F.I.R.M. Panel #34025C0456G,
Dated 01/31/2014

Building Location Dimensions Shown Hereon are not to be Used as a Basis for the Erection of Fences or Other Permanent Structures.

A Written Waiver and Direction not to Set Corner Markers has been Obtained from the Ultimate User Pursuant to P.L.2003, c.14 (N.J.S.A. 45:8-36.3) and N.J.A.C. 13:40-5.1(d).

WSB engineering group, p.a.
Weinert * Smildzins * Baer
engineering * environmental planning * surveying * landscape architecture
1018 Schenck's Mill Line Road, Toms River, New Jersey 08753 (732) 244-7221 Fax (732) 505-8440
Exempt from Certificate of Authorization
Prepared under the Supervision of:

EDWARD M. WEINERT
NJ Professional Land Surveyor 2465003128400
NJ Professional Planner 33100375600

Edward M. Weinert
DATE: 8/6/20

date	revision	by	ck.

Topographic Survey
Tax Lot 18.05 Block 162
As Shown on the Boro of Manasquan Tax Map Sheet #25
Last Revised: November 2013
Tract Containing 4504 SF
Street Address: #74 Ocean Avenue
Boro of Manasquan
Monmouth County
New Jersey

des.	date	scale	1" = 20'
dwn. MS	07-14-20		
chk.	sheet 1 of 1	job no. 2201-188	dwg. no. 17625

Item 8.

Notice: This Drawing may not be Copied, Reused, Disclosed, Distributed or Relied Upon for any other Purpose Without the Written Consent of WSB Engineering Group, P.A.

June 30, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1610
Variance – Cinfio
Block 185, Lot 14
337 Beachfront/336 First Avenue
R-4 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Charles Lindstrom, P.E. of Lindstrom, Diessner & Carr, P.C., dated December 31, 2020., last revised June 3, 2021
2. Architectural Floorplans and Elevations prepared by Jeff Schneider, RA, dated May 20, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish both existing dwellings and construct a raised two story garage dwelling on First Avenue, a two and one half story dwelling on the beachfront, and associated site improvements. This application is deemed complete as of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

Lot 14

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 46.4% is proposed (45.4% exists).
- b. A minimum building separation of 35 feet is required, whereas a separation of approximately 22 feet is proposed.

Re: Boro File No. MSPB-R1610
 Variance – Cinflo
 Block 185, Lot 14

June 30, 2021
 Sheet 2

- c. Standby generators are prohibited in any side yard, whereas the proposed generator is located in the northern side yard.
- d. A maximum driveway width of 20 feet is permitted, whereas a driveway width of approximately 22 feet is proposed.

Beachfront Dwelling (337 Beachfront)

- e. A minimum front yard setback of 15 feet is required, whereas a setback of 10.7 feet is proposed to the deck (15.7 feet exists).
- f. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 20 feet is proposed for the stairwell dormer.

First Avenue Dwelling (336 First Avenue)

- g. A minimum front yard setback of 10 feet is required, whereas a setback of 8.7 feet is proposed (0.8 feet exists).
3. The base flood elevation for the property is 14 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 14.68 and the beachfront dwelling at elevation 16.50.
 4. The air conditioning units and generator are proposed to be located on a raised platform on the north side of the First Avenue dwelling at elevation 16.50.
 5. The applicant should confirm that the required 80 square feet of storage space is proposed in the First Avenue garage.
 6. Four conforming parking spaces are provided within the First Avenue garage.
 7. A dedicated walkway to the beachfront is proposed as required.
 8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone, however the applicant does propose a recharge system connected to a bubbler inlet near the sidewalk.
 9. Construction details for the proposed retaining walls, concrete apron, and pavers should be provided on the plans.
 10. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
 11. Any new utilities should be located underground if possible. The two dwellings are proposed to be serviced by separate water and sewer lines.
 12. Any curb and sidewalk must be replaced along First Avenue as necessary.



Re: Boro File No. MSPB-R1610
Variance – Cinfo
Block 185, Lot 14

June 30, 2021
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Al Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson, esq.
52 Abe Voorhees Drive, Manasquan, NJ 08736
Charles Lindstrom, P.E.
Lindstrom, Diessner & Carr, 136 Drum Point Road, Suite 6, Brick, NJ 08723

**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: Janet & Scott Cinfio, NJDMDC, LLC

Address: 217 Horseback Hollow, Austin, TX 78732

Phone: 650-224-1759

Property Address: 337 Beachfront/336 First Ave
Block 185, Lot 14, Zone R-4
Flood Zone: VE BFE: 14 ft DFE: 15 ft
Manasquan, New Jersey 08736

II. TYPE OF APPLICATION: Bulk Variances
Section 35-9.4

SITE			
	REQUIRED	EXISTING	PROPOSED
Area of Lot	4,200 s.f.	4,481 s.f.	4,481 s.f.
Percentage of Lot Coverage (Building)	35%	45.4%*	46.4%**
Percentage of Lot Coverage (Imp)	50%	73.8%	50%
Lot Frontage	30 ft.	32 ft	32 ft.
337 BEACHFRONT			
Front Yard Setback	15 ft	15.7 ft	15.8 ft to dwelling; 10.7 ft to the deck* *
Side Setback (N)	5ft	2.8 ft*	5 ft
Side Setback (S)	5ft	4.6 ft*	5.1 ft
Rear Setback	15 ft	78.1 ft	67.5 ft
Building Height-Stories	33 ft. 2.5 stories	19.07 ft 1.5 stories	32.58 ft 2.5 stories
336 FIRST AVE			
Front Yard Setback	10 ft	0.8 ft	8.7 ft**
Side Setback (N)	5ft	8.7 ft	5.2 ft
Side Setback (S)	5ft	3.7 ft*	5.0 ft
Rear Setback	15 ft	98.1 ft	91.2 ft
Building Height-Stories	32 ft 2 stories	21.77 ft 1.5	31.79 ft 2

Previously approved existing Non-Conformity *
Variance Requested **

Section 35-9.4- Dormer Length—10 ft permitted; 20 ft. proposed.

Section 35-11.8i- Prohibits locating standby generator in the side yard.

Section 35-7.7- Driveway Width—20 ft permitted; 22 ft. proposed.

III. SITE INFORMATION:

Street Address: 336 First Ave/337 Beachfront

Block 185, Lot 14

Zoning Districts: R-4

Present Use: Two Single Family Residential Dwellings

Proposed Use: Two Single Family Residential Dwellings

VI. ZONE REQUIREMENTS: R-4 Zone

Min. Lot Area: 4,200 SF

Min Lot Frontage: 30 ft

Front Yard Setback: 15/10 ft

Side Setback: 5ft

Rear Setback: 15 ft

Max. Bldg. Height: 35 ft (33 ft for non-conforming lot)

Max Stories: 2 ½

Max. Bldg. Coverage: 35%

Max. Lot Coverage: 50%

V. MISCELLANEOUS:

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes

- 4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? No.
- 5. Are there any deed restrictions, easements or covenants affecting the property?

VI. COMMENT:

Applicant seeks to remove all the existing buildings and structures on the property and construct a new single family dwelling fronting on the Beachfront and a new garage apartment fronting on First Avenue.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

6/18/21
Date



MICHAEL D. HENDERSON, ESQ
Attorney for Applicant

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

May 27, 2021

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.
Cinfio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

Application denied for the following reason(s):

Lot:

Section 35-9.4 – Building Coverage – 35% Permitted
46.4% Proposed

337 Beachfront:

Section 35-9.4 – Front Setback – 15ft Required
10.7ft Proposed

“ - Dormer Length – 10ft Permitted
20ft. Proposed

336 First Avenue:

Section 35-9.4 – Front Setback – 10ft. Required
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

Section 35-7.7 – Driveway Width – 20ft. Permitted
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT
BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

June 15, 2021

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

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Lot:

Section 35-9.4 – Building Coverage – 35% Permitted
46.4% Proposed

337 Beachfront:

Section 35-9.4 – Front Setback – 15ft Required
10.7ft Proposed

“ - Dormer Length – 10ft Permitted
20ft. Proposed

“ - Half Story – 60% Permitted
64% Proposed

336 First Avenue:

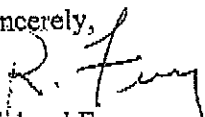
Section 35-9.4 – Front Setback – 10ft. Required
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

Section 35-7.7 – Driveway Width – 20ft. Permitted
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736



732-223-0544
Fax 732-223-1

Item 9.

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

June 16, 2021

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.
Cinfio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

Application denied for the following reason(s):

Lot:

Section 35-9.4 – Building Coverage – 35% Permitted
46.4% Proposed

337 Beachfront:

Section 35-9.4 – Front Setback – 15ft Required
10.7ft Proposed

“ - Dormer Length – 10ft Permitted
20ft. Proposed

336 First Avenue:

Section 35-9.4 – Front Setback – 10ft. Required
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

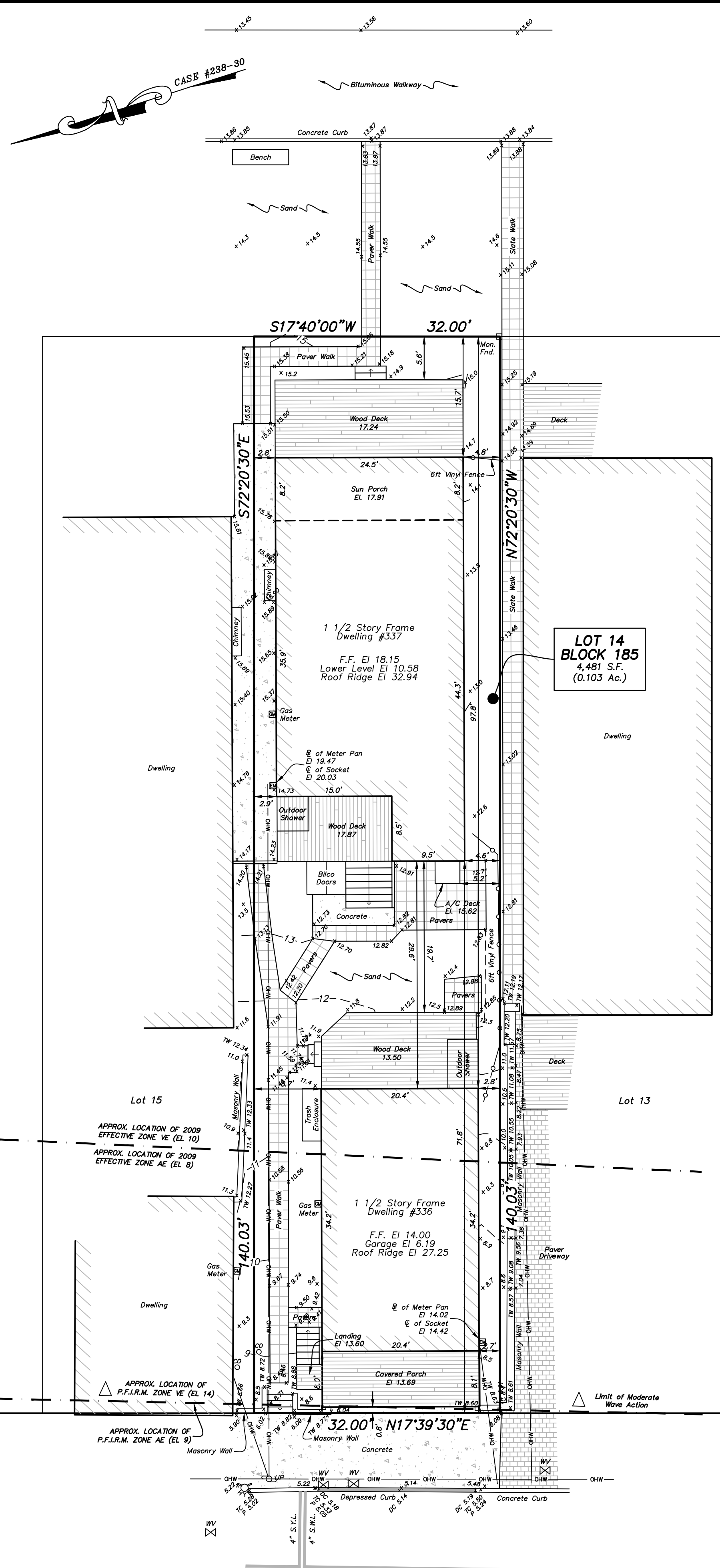
Section 35-7.7 – Driveway Width – 20ft. Permitted
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

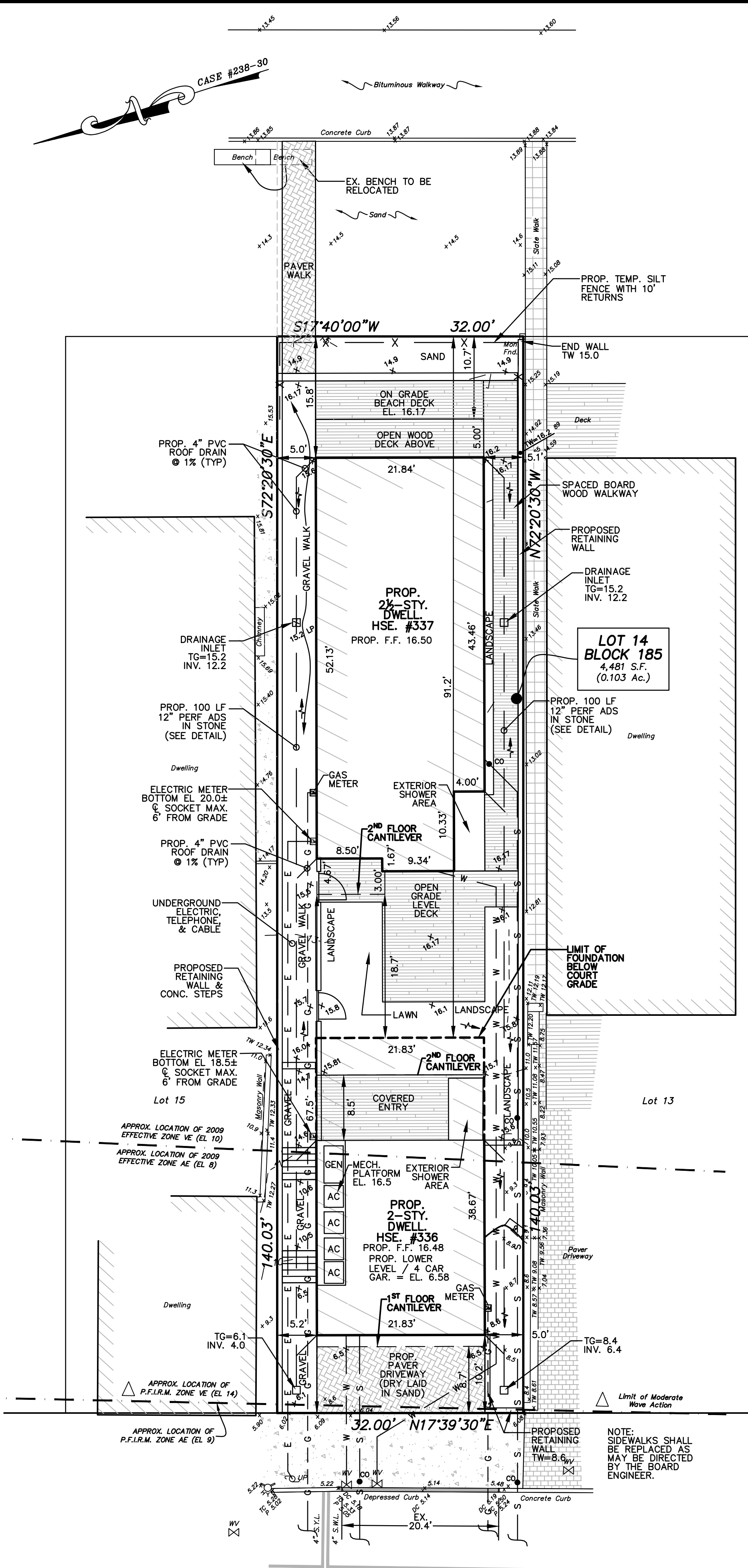
Sincerely,



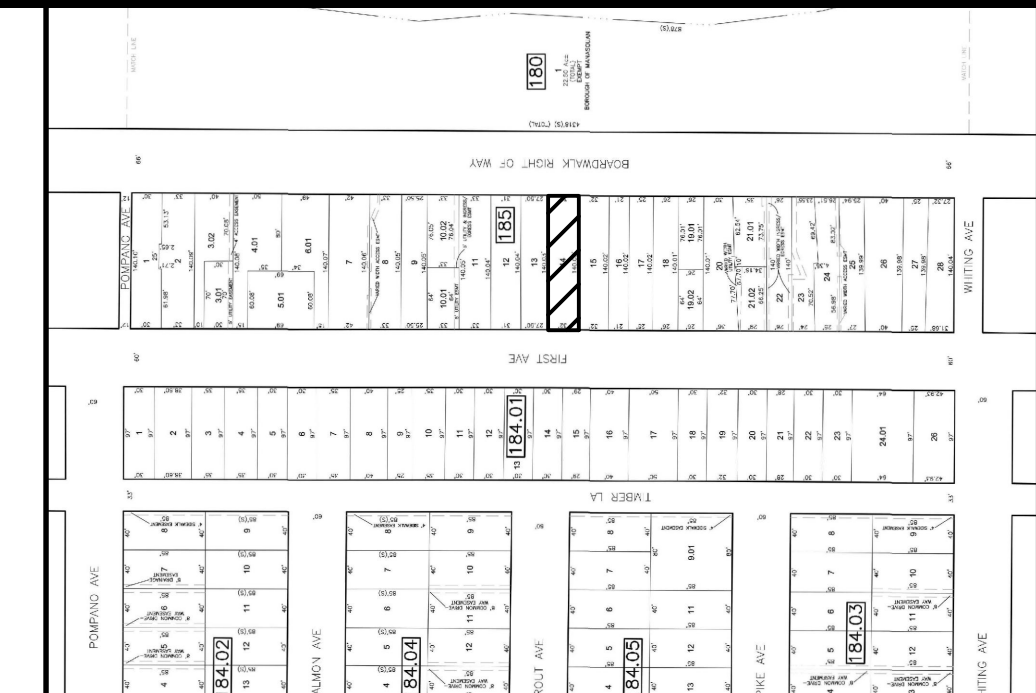
Richard Furey
Zoning/Code Enforcement Officer



EXISTING CONDITIONS PLAN
SCALE 1"=10'



PROPOSED DEVELOPMENT PLAN
SCALE 1"=10'



KEY MAP
SCALE 1"=200'



AERIAL MAP
N.T.S.

GENERAL NOTES:

1. SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY LOT 14 BLOCK 185 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY." PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 7/20/2020. WILLIAM H. DOOLITTLE P.L.S. FOR JANET & SCOTT CINFIO.
2. ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
3. PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10). COMMUNITY NUMBER 345303 MAP NUMBER 34025004567, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
4. UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION.
5. FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
6. THERE ARE NO WETLANDS ON SITE.
7. THERE IS NO BELOW GRADE BASEMENT PROPOSED.
8. A FLOOR WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
9. ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
10. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND EACH DWELLING SHALL HAVE SEPARATE UTILITIES.

OWNER/APPLICANT:
JANET & SCOTT CINFIO
NJDMDC, LLC
217 HORSEBACK HOLLOW
AUSTIN, TX 78732

PROPERTY IS LOCATED IN THE R-4 DISTRICT
FIRST AVENUE HOUSE #336

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	0.8 FT.**	8.7 FT.**
SIDE SETBACK NORTH	5 FT.	8.7 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	3.7 FT.**	5.0 FT.
REAR SETBACK	15 FT.	97.8 FT.	91.2 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT ⁽¹⁾	33 FT.	21.77 FT.	31.79 FT.
			2 Sty

VARIANCE REQUESTED FOR STANDBY GENERATOR IN SIDE YARD (SECT. 35-11.8)

PROPERTY IS LOCATED IN THE R-4 DISTRICT
OCEAN FRONT HOUSE #337

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	15 FT.	15.7 FT.	15.8 FT. DWELL; 10.7 FT. DECK**
SIDE SETBACK NORTH	5 FT.	2.8 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	4.6 FT.	5.1 FT.
REAR SETBACK	15 FT.	71.8 FT.	67.5 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT ⁽²⁾	33 FT.	19.07 FT.	32.58 FT.
			2 1/2 Sty.

* EXISTING NON-CONFORMING
** VARIANCE REQUESTED
VARIANCE REQUESTED FOR DRIVEWAY CURB CUT (SECT 35-7.7c) REQUIRED 20 FEET MAX - DRIVEWAY WIDTH 22' PROP. **

PROPERTY IS LOCATED IN THE R-4 DISTRICT
TOTAL LOT ZONING CRITERIA

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	4,200 S.F.	4,481 S.F.	4,481 S.F.
LOT FRONTAGE	30 FT.	32.0 FT.	32.0 FT.
LOT WIDTH	30 FT.	32.0 FT.	32.0 FT.
BUILDING COVERAGE	35%	45.4%*	46.4%*
LOT COVERAGE	50%	73.8%*	50.0%

LEGEND:

- 47- EXISTING CONTOUR
- 48- PROPOSED CONTOUR
- 12x.45 EXISTING SPOT GRADE
- 123.45 PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOB TOP OF BLOCK

REFERENCES USED:
- FILED MAP, CASE #238-30
- DEED BOOK 9358, PAGE 2093

PROPERTY DESCRIPTION:
BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026

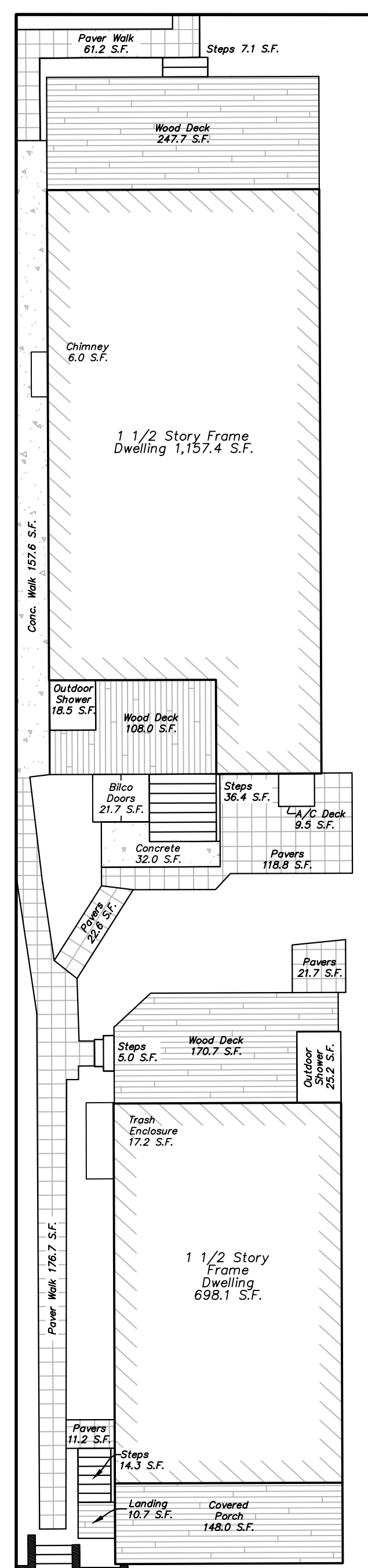
PLOT PLAN
LOT 14 BLOCK 185

BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY

CHARLES E. LINDSTROM
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900
PROFESSIONAL PLANNER N.J. LIC. NO. 33100233300

NO.	DATE	REVISION DESCRIPTION	BY
2	6/3/21	REVISED PER ZONING OFFICER DENIAL LETTER 5/27/21	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR

DRAWN BY: JAR SCALE: 1"=20' DATE: 12/31/2020 SHEET: 1 OF 2 PROJECT: 20075

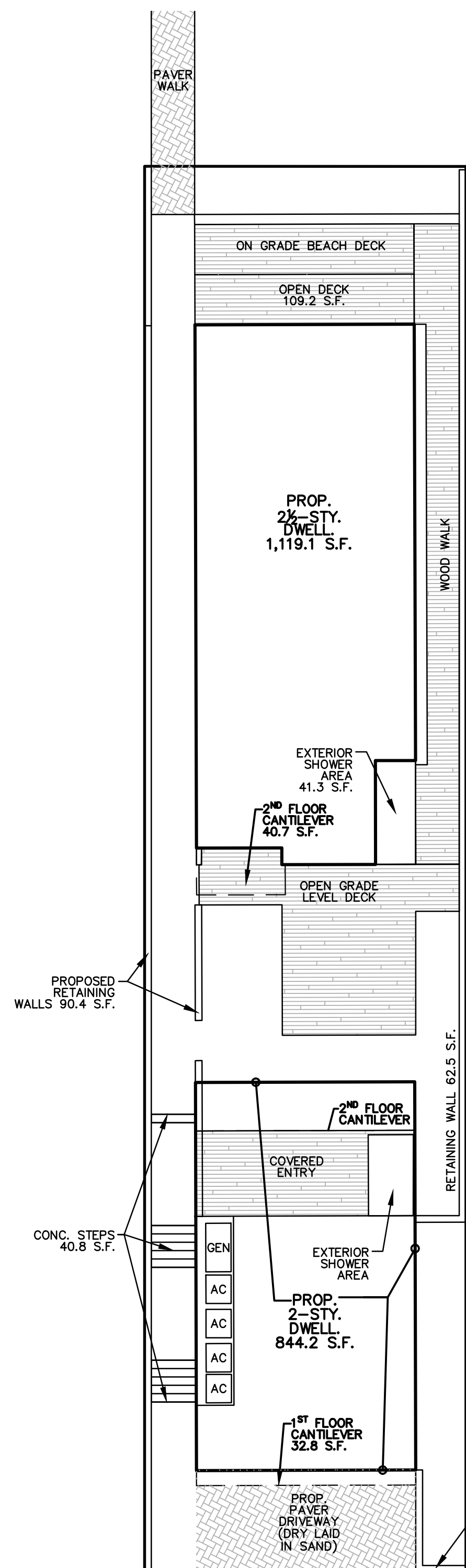


EXISTING BUILDING COVERAGE

CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
OUTDOOR SHOWER	25.2 S.F.
1 1/2 STORY FRAME DWELLING COVERED PORCH	148.0 S.F.
TOTAL	2,034.7 S.F.

EXISTING LOT COVERAGE

STEPS	7.1 S.F.
WOOD DECK	247.7 S.F.
CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
CONC. WALK	157.6 S.F.
OUTDOOR SHOWER	18.8 S.F.
WOOD DECK	108.0 S.F.
STEPS	36.4 S.F.
WOOD DECK	9.9 S.F.
WOOD DECK	21.7 S.F.
WOOD DECK	188.8 S.F.
WOOD DECK	32.0 S.F.
WOOD DECK	170.7 S.F.
WOOD DECK	25.2 S.F.
WOOD DECK	17.2 S.F.
1 1/2 STORY FRAME DWELLING	698.1 S.F.
STEPS	14.3 S.F.
LANDING	10.7 S.F.
COVERED PORCH	148.0 S.F.
MASONRY WALLS	6.8 S.F.
TOTAL	2,897.9 S.F.

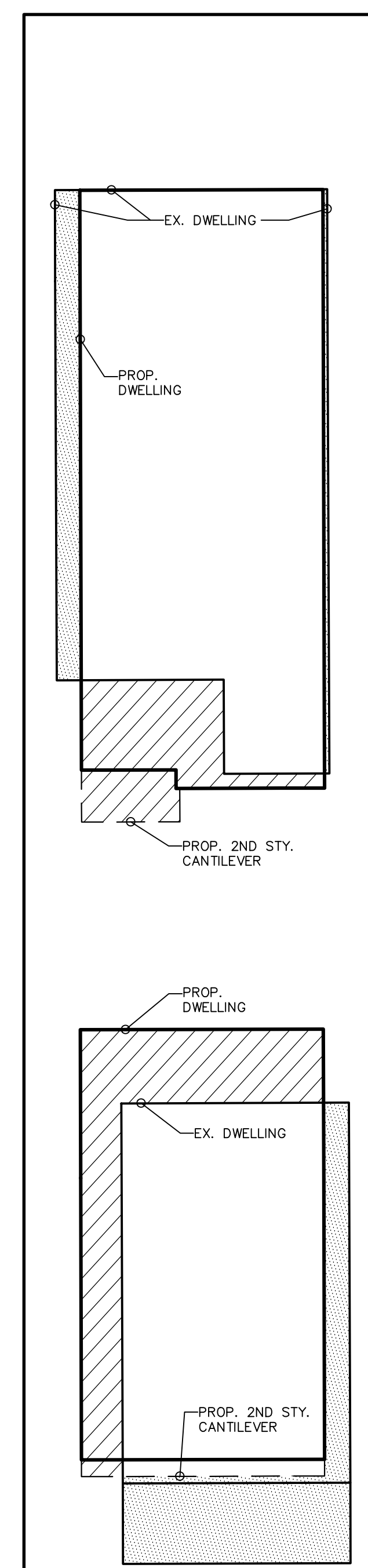


PROPOSED BUILDING COVERAGE

PROP. 2 1/2-STY. DWELL	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROP. 2-STY. DWELL	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
TOTAL	2,078.1 S.F.

PROPOSED LOT COVERAGE

PROP. 2 1/2-STY. DWELL	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROPOSED RETAINING WALLS	90.4 S.F.
RETAINING WALL	62.5 S.F.
PROP. 2-STY. DWELL	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
PROPOSED RETAINING WALL	9.7 S.F.
TOTAL	2,240.7 S.F.



FLOOD HAZARD CONTROL ACT NOTES

- DECK:
 - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
 - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
 - THE DECK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
 - THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
 - LOWEST FLOOR SHALL MEET THE FOLLOWING:
 - THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
 - THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL, IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
 - THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT BREAKAWAY WALLS AND PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
 - THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
 - EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
 - DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
 - PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
 - EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NADP.
 - THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(f). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIUNIT DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 14.0' NAVD.

V-ZONE NOTES

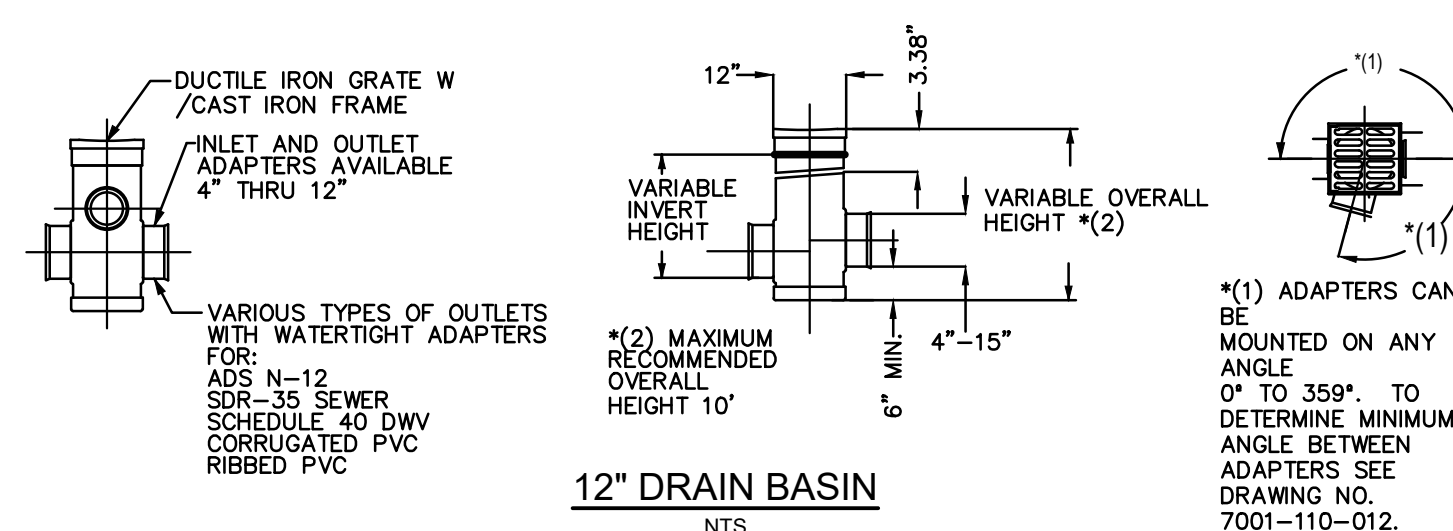
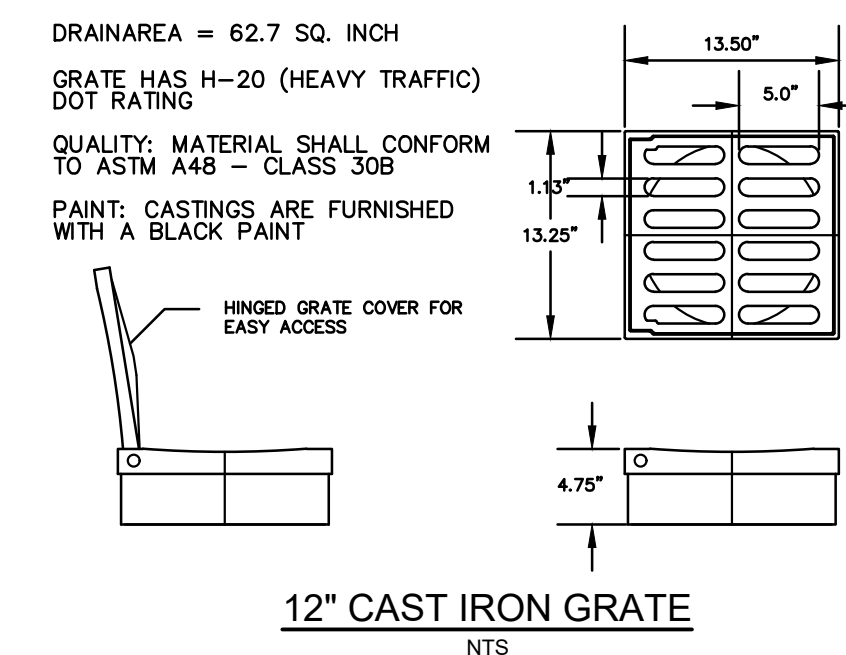
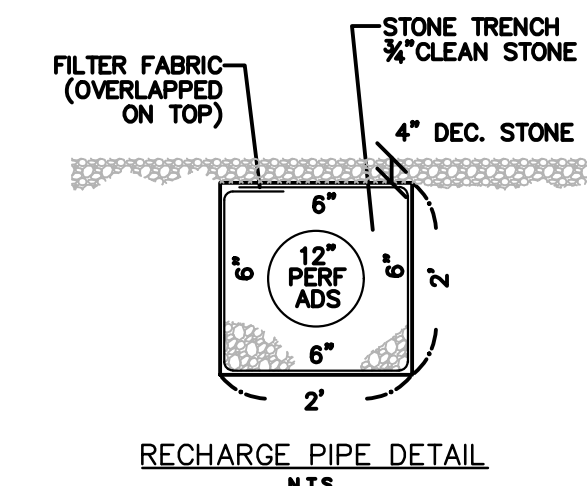
- BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER FOR DWELLING AND GARAGE AREA TO BE SET AT MIN. ELEVATION 15.0 MIN. (FEMA PRELIMINARY FIRM 14.0 PLUS 1 FOOT OF FREEBOARD TO BOTTOM OF GIRDER).
- THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
- ALL AREAS BELOW LOWEST HORIZONTAL GIRDER MIN. (EL. 15.0) SHALL BE NON BEARING BREAKAWAY WALLS IN ACCORDANCE WITH FEMA REQUIREMENTS.
- LOWEST HORIZONTAL STRUCTURAL MEMBER SHALL BE SUPPORTED BY PILING DRIVEN TO A TIP ELEVATION OF -10.0 NAVD 88.
- GARAGE SLAB (EL. 6.58) SHALL BE NON STRUCTURAL CONCRETE SLABS, NOT CONNECTED TO SUPPORT PILING IN ACCORDANCE WITH V-ZONE FEMA STANDARDS.
- GARAGE DOORS SHALL BE NON BEARING AND BREAKAWAY DESIGN BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER MIN. (EL. 15.0).
- LOWER LEVEL BELOW EL. 15.0 SHALL ONLY BE USED FOR STORAGE AND PARKING AND SHALL NOT BE USED FOR HABITABLE SPACE.
- THE PROPOSED GARAGE WILL BE ENCLOSED USING NON BEARING (FEMA APPROVED) BREAKAWAY WALLS.
- ALL DUCT WORK, ELECTRICAL COMPONENTS AND MECHANICALS SERVING THE BUILDING SHALL BE LOCATED ABOVE THE DECK AND ALL SERVICE CONDUIT AND/OR PIPING FOR THE SUBJECT BUILDING SHALL NOT BE LOCATED ON THE BREAK-AWAY WALLS.
- ALL STAIRWAY SYSTEMS FOR THE SUBJECT BUILDING BELOW THE DECK SHALL BE OF BREAK-AWAY CONSTRUCTION DESIGN AND SHALL BREAK CLEANLY AWAY DURING THE BASE FLOOD EVENT WITHOUT CAUSING DAMAGE TO THE BUILDING OR ITS FOUNDATION. OR THE STAIRWAY SYSTEMS SHALL BE DESIGNED TO RESIST FLOOD LOADS AND REMAIN IN PLACE DURING THE BASE FLOOD EVENT WITH THE ELEVATED BUILDING AND ITS FOUNDATION DESIGNED TO RESIST ANY FLOOD LOADS THAT ARE TRANSFERRED FROM THE STAIRS TO THE BUILDING.
- THE BUILDING AND ANY ASSOCIATED DECKS, WHICH ARE LOCATED IN THE VE FLOOD ZONE, SHALL BE DESIGNED WITH A DEEP FOUNDATION (PILES OR COLUMNS) TO SUPPORT THE STRUCTURE IN THE EVENT OF SCOUR OR EROSION, AND THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR THE ELEVATED STRUCTURE, INCLUDING GARAGE, SHALL BE ABOVE THE DFE.

CAFRA GENERAL NOTES:

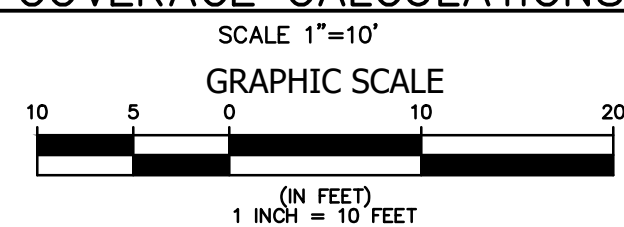
- INDIGENOUS COASTAL PLANTS ARE ENCOURAGED TO BE USED WHEREVER FEASIBLE. NO PLASTIC LINERS SHALL BE USED IN LANDSCAPED OR GRAVEL AREAS. ALL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
- CROWN DRIVEWAY TO PITCH RUNOFF TO DRAIN ONTO PERMEABLE AREAS OF THE SITE OR USE OTHER PERMEABLE STONE.
- PROPOSED SILT FENCE SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.
- ALL CONSTRUCTION SHALL COMPLY WITH FEMA REQUIREMENTS AND FLOOD HAZARD CONTROL ACT REQUIREMENTS.
- FLOOD VENTS SHALL BE INSTALLED IN GARAGE AND LOWER LEVEL IN ACCORDANCE WITH FEMA REQUIREMENTS.

FLOOD VENTS SHALL MEET THE FOLLOWING:

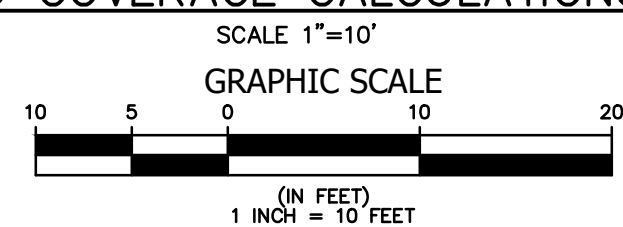
- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
- FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 SQ. IN. OF VENTING PER SQ. FT. OF ENCLOSURE.



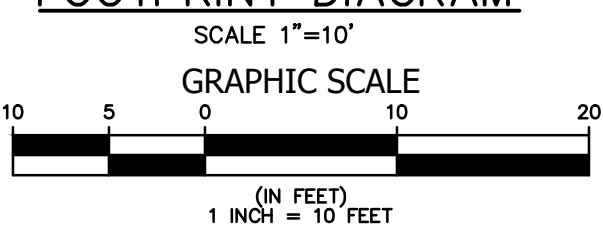
EXISTING COVERAGE CALCULATIONS DETAIL



PROPOSED COVERAGE CALCULATIONS DETAIL

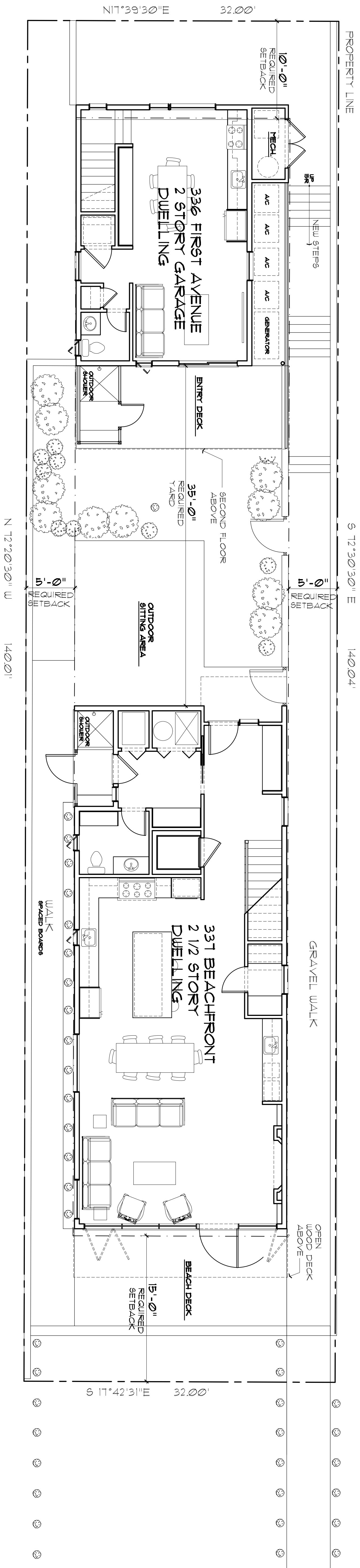


FOOTPRINT DIAGRAM



1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026			
PLOT PLAN LOT 14 BLOCK 185			
BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY			
CHARLES E. LINDSTROM PROFESSIONAL ENGINEER N.J. LIC. NO. 246E02473900 PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300	DRAWN BY: JAR	SCALE: 1"=20' DATE: 12/31/2020	SHEET: 2 OF 2 PROJECT: 20075

CONCRETE CURB



Site Plan
SCALE: 3/16" = 1'-0"

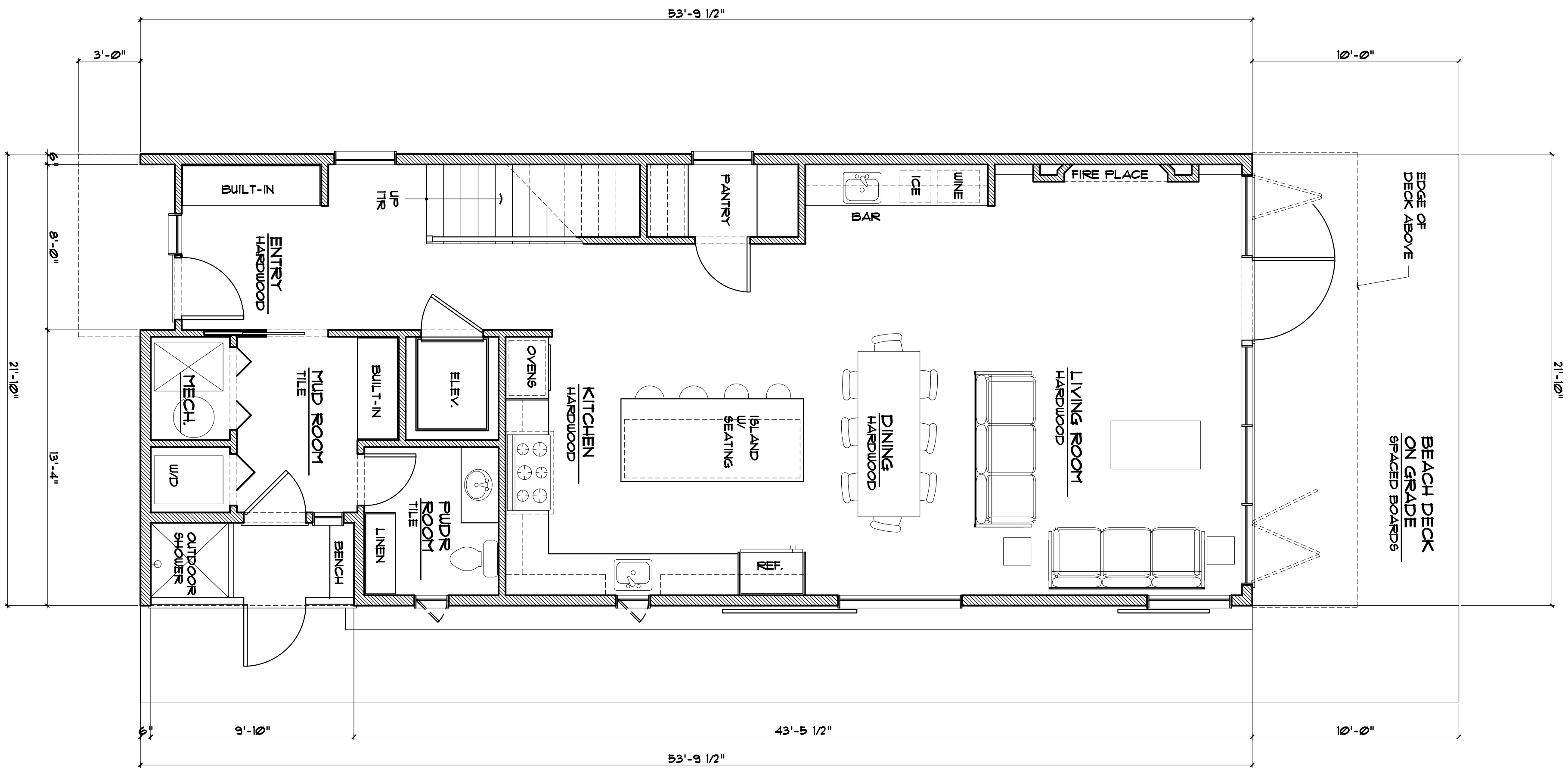
Site Plan Legend:	
	PROPERTY LINE
	SETBACK LINE
Plan North:	True North:

New Construction:
CINFIO RESIDENCE
336 First Avenue
Borough of Manasquan, New Jersey

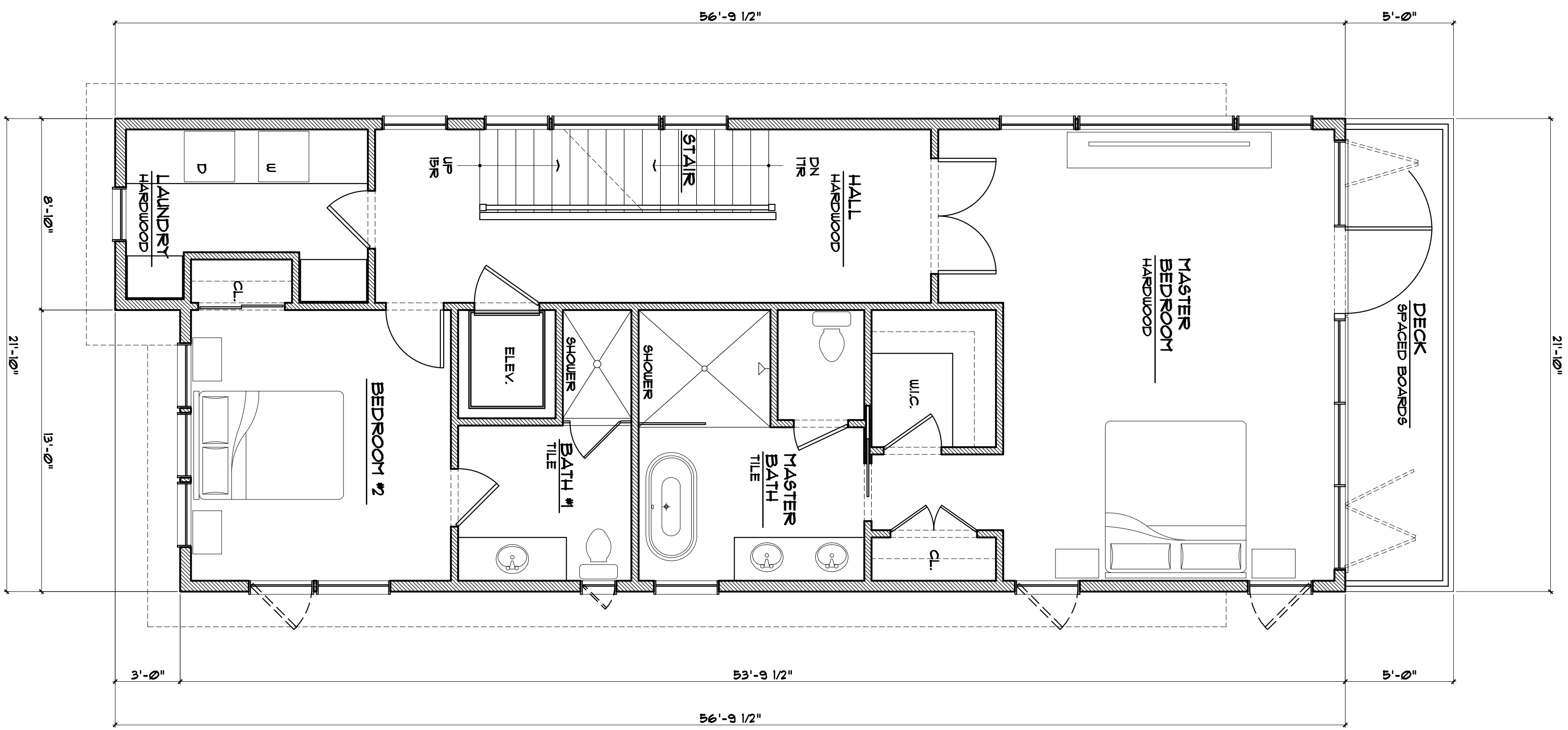
revisions	date
1.	May 20, 2021
2.	
3.	
4.	
project number	2021

Jeffrey G. Schneider
New Jersey Architect
A1015418

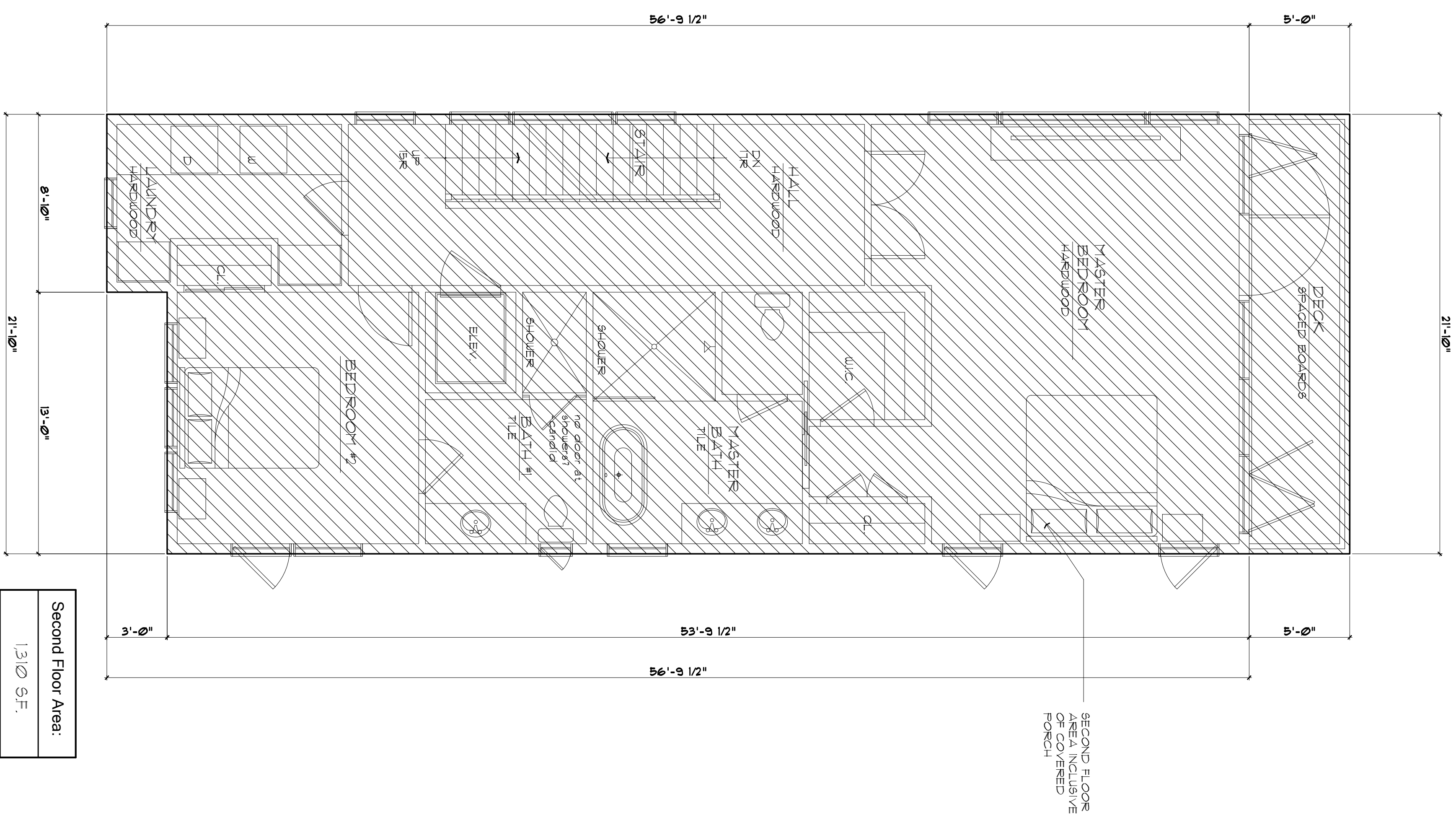
JEFF SCHNEIDER ARCHITECT
P.O. BOX 356
BAY HEAD, NJ 08742
(732) 892-8155 (T)
(732) 892-4331 (F)
JEFF@JEFFSCHNEIDERARCHITECT.COM



1
337 Beachfront
First Floor Plan
SCALE: 1/4" = 1'-0"



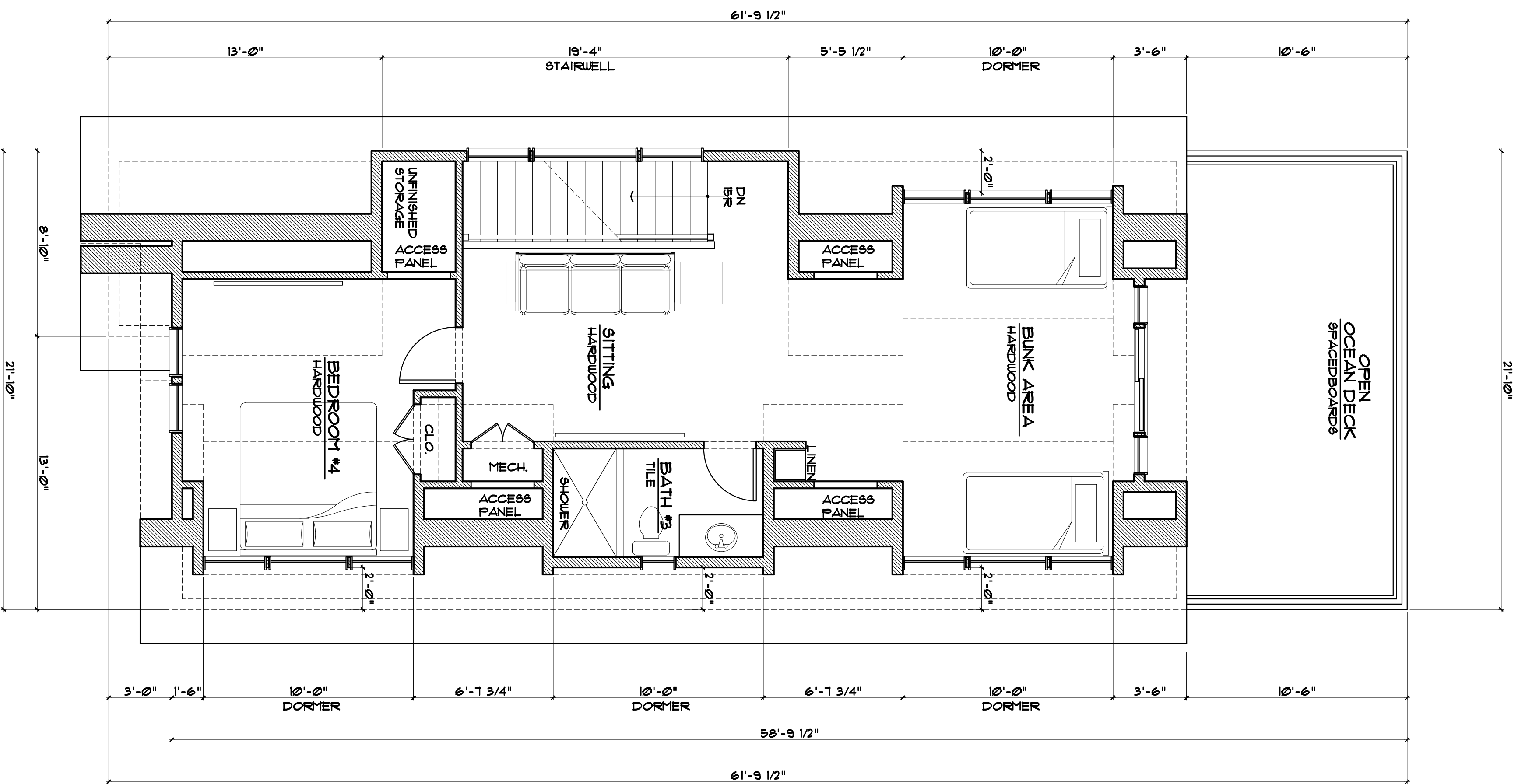
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337 Beachfront
Second Floor Plan
SCALE: 1/4" = 1'-0"



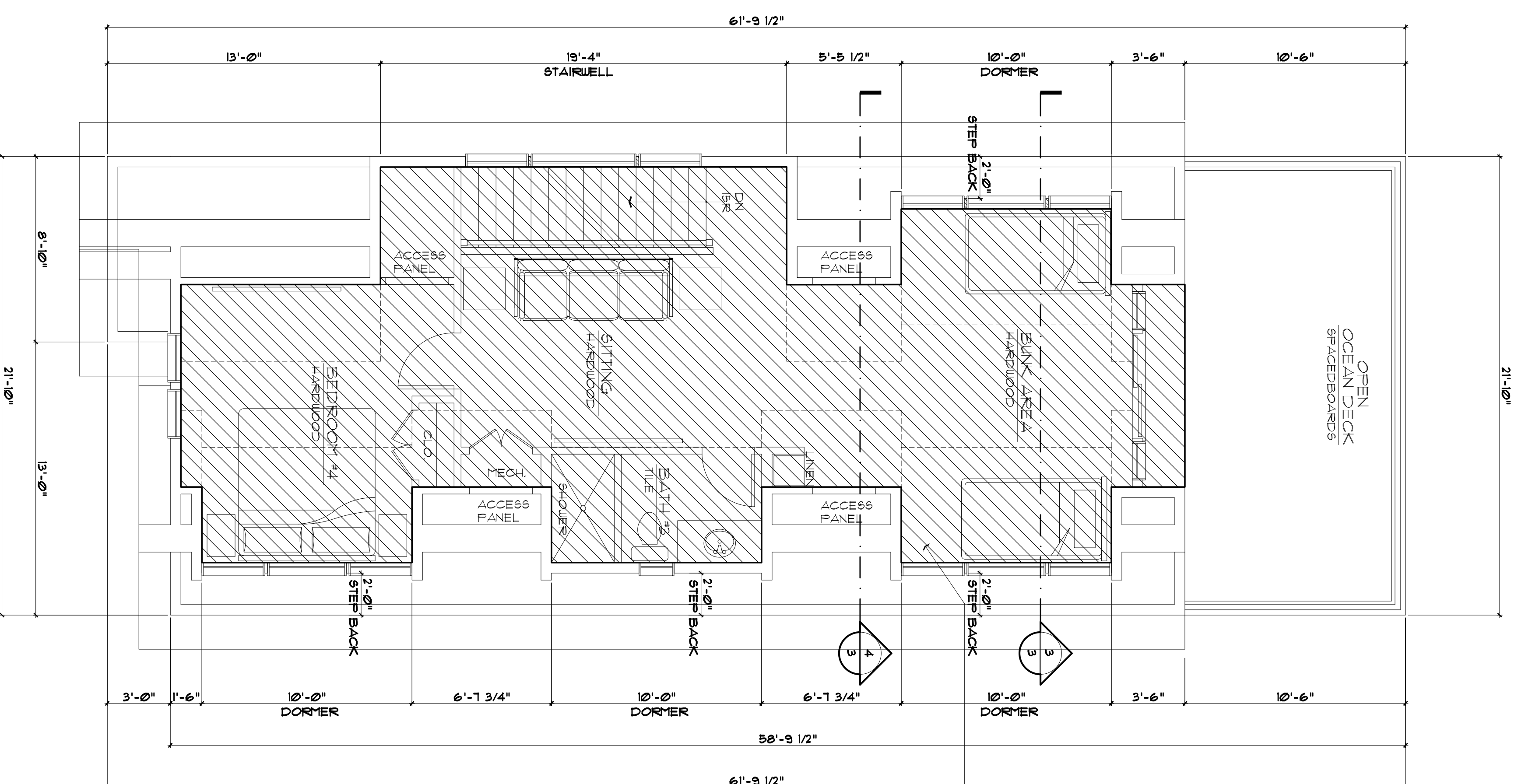
3
337 Beachfront
Second Floor Plan Area Diagram
SCALE: 1/4" = 1'-0"

Second Floor Area:
1310 SF.

SECOND FLOOR
AREA INCLUSIVE
OF COVERED
PORCH



1
337 Beachfront
Finished Attic Floor Plan
SCALE: 1/4" = 1'-0"

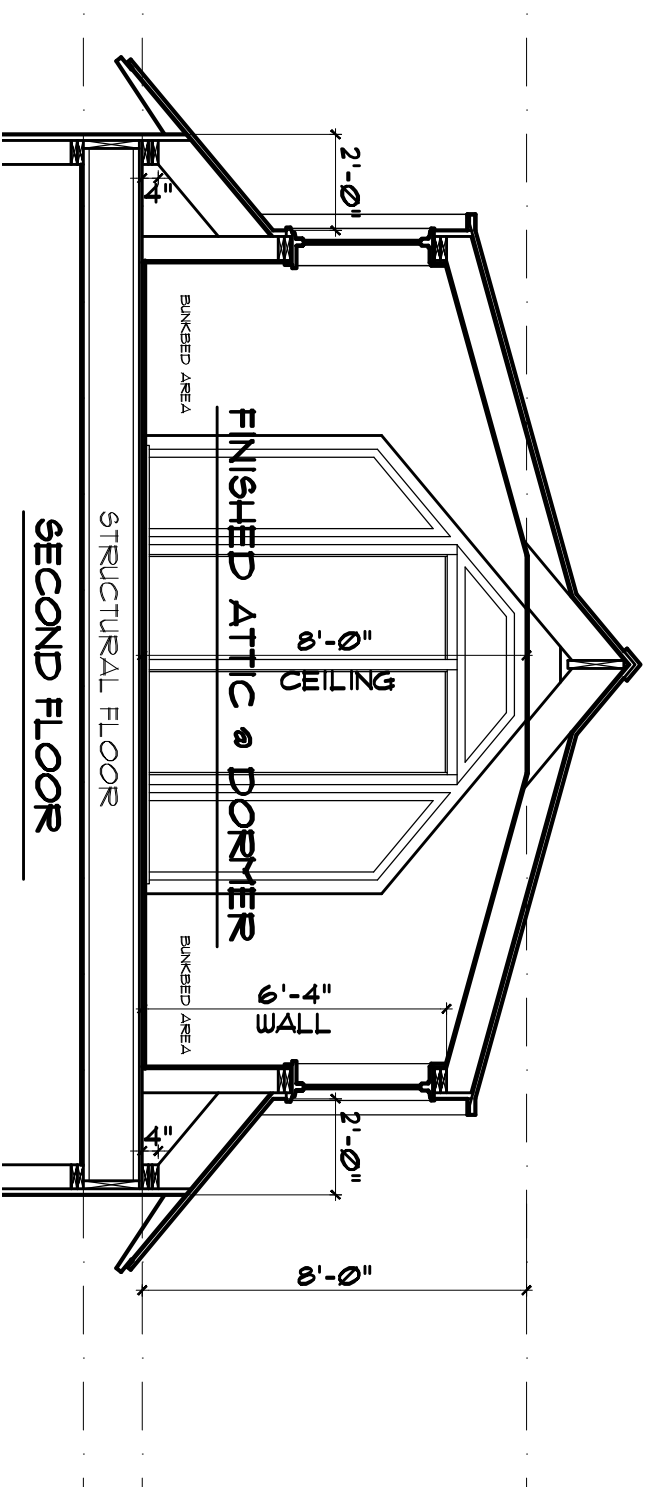


2
337 Beachfront
Finished Attic Floor Plan Showing
Area of Five Feet or Greater Headroom
SCALE: 1/4" = 1'-0"

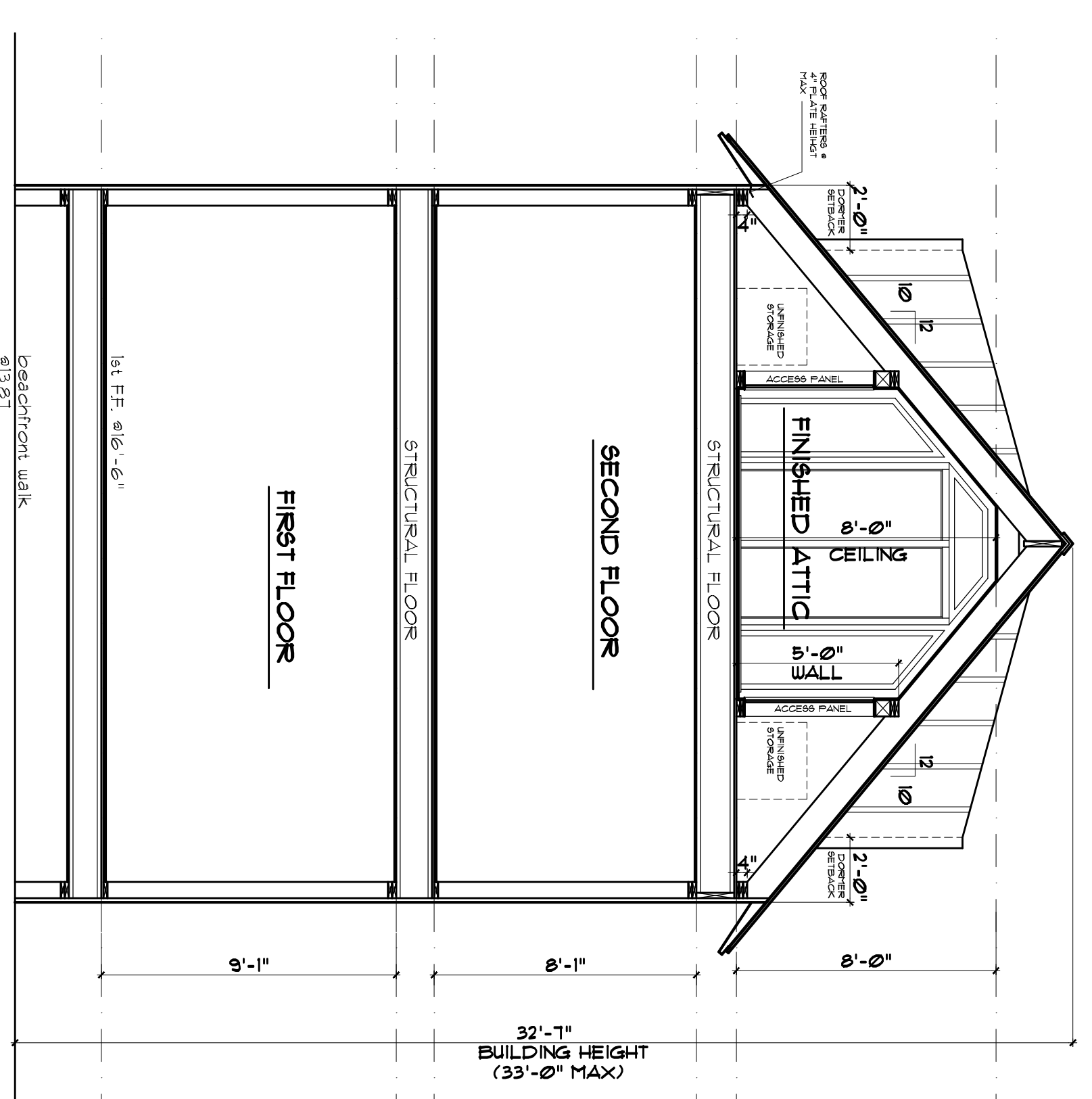
Half Story Calculation	
113 S.F.	

THE FINISHED AREA OF THE ATTIC WHERE THE INTERSECTION OF THE ROOF RAFTERS AND THE EXTERIOR WALL OCCURS WITHIN FOUR INCHES OF THE FLOOR/CEILING SYSTEM, AND IN WHICH THE MAXIMUM FLOOR AREA AT A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES, (113 SF.) OCCUPIES 54.4% OF THE SQUARE FOOTAGE DIRECTLY BELOW (130 SF.) INCLUSIVE OF ROOFED OVER PORCHES. 60% IS THE MAXIMUM ALLOWABLE.

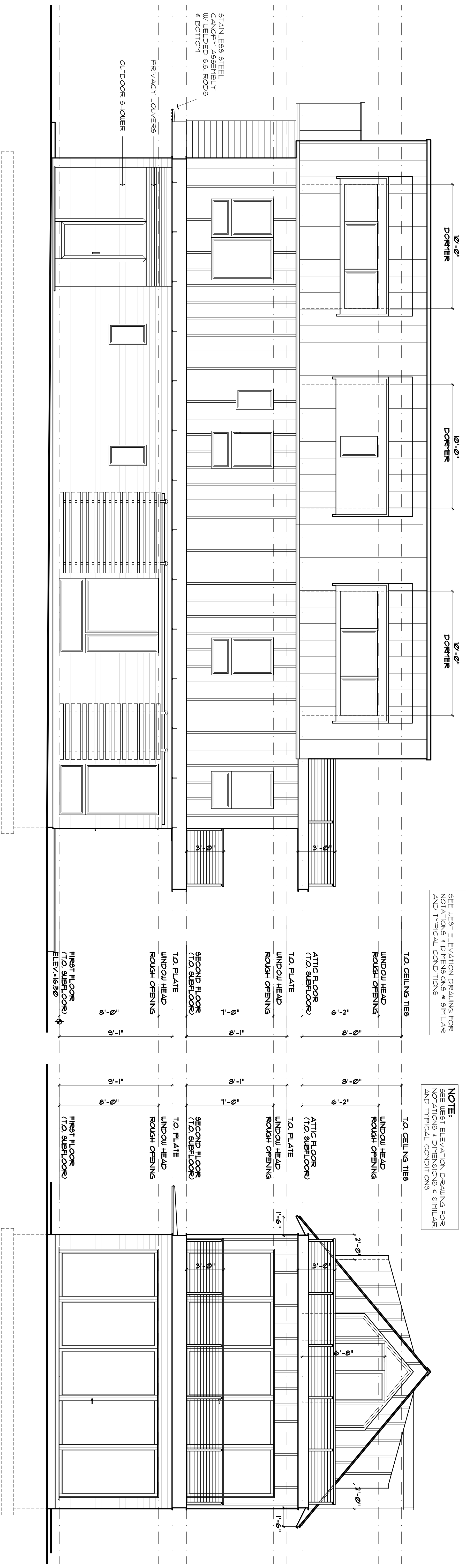
HATCH REPRESENTS THE FINISHED AREA OF ATTIC IN WHICH HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES



3
337 Beachfront
Section @ Garret Dormer
SCALE: 1/4" = 1'-0"

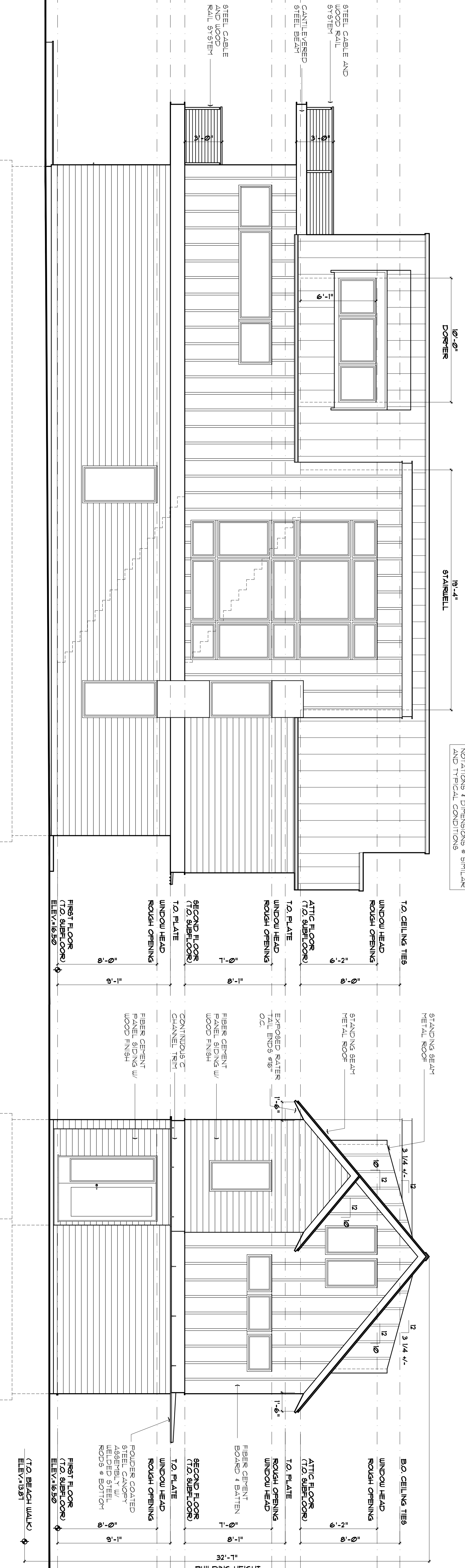


4
337 Beachfront
Building Section
SCALE: 1/4" = 1'-0"



4
337 Beachfront
South Elevation
SCALE: 1/4" = 1'-0"

3
337 Beachfront
East Elevation
SCALE: 1/4" = 1'-0"



2
337 Beachfront
North Elevation
SCALE: 1/4" = 1'-0"

1
337 Beachfront
West Elevation
SCALE: 1/4" = 1'-0"

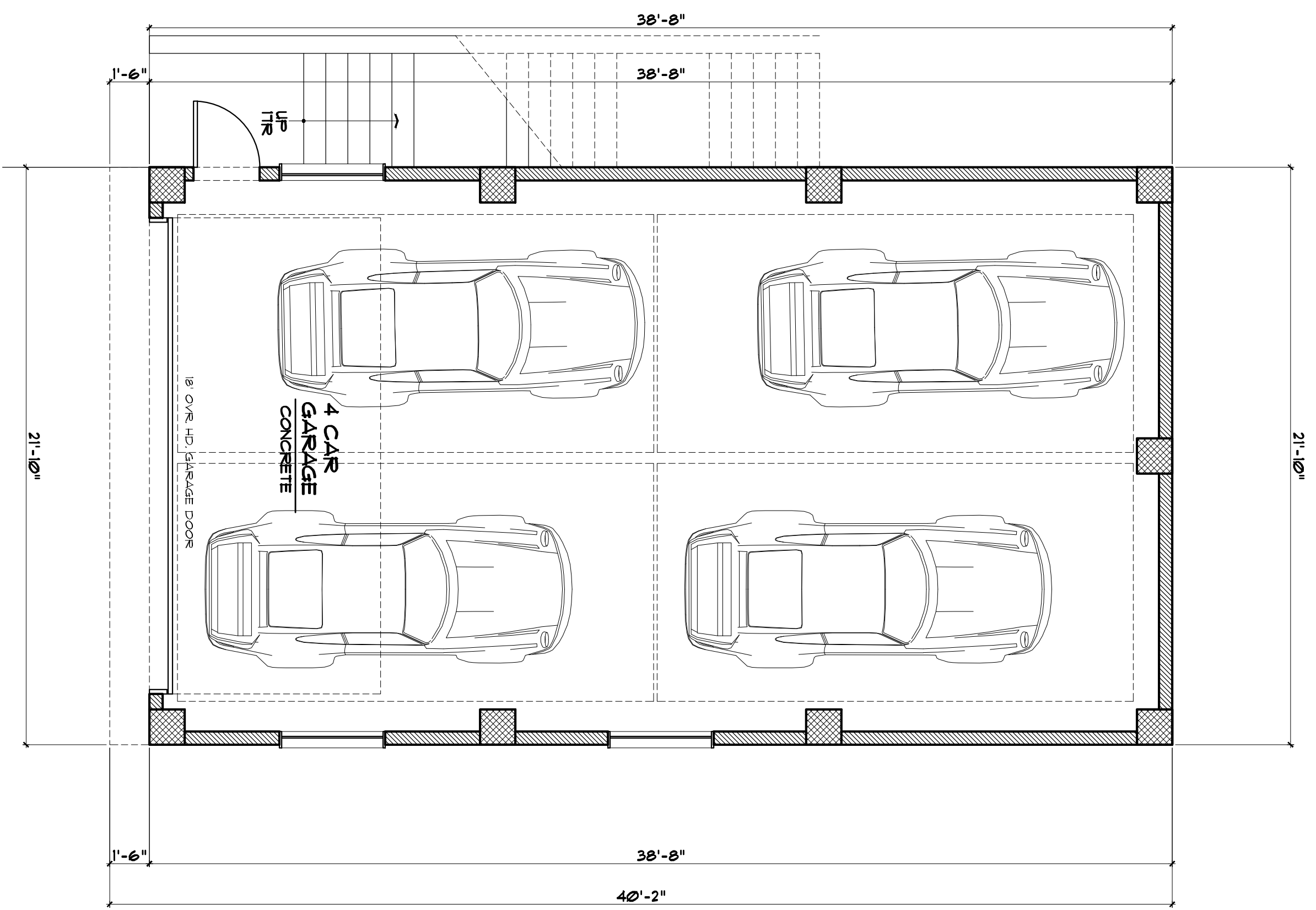
revisions	date
1.	
2.	
3.	
4.	

project number
2021

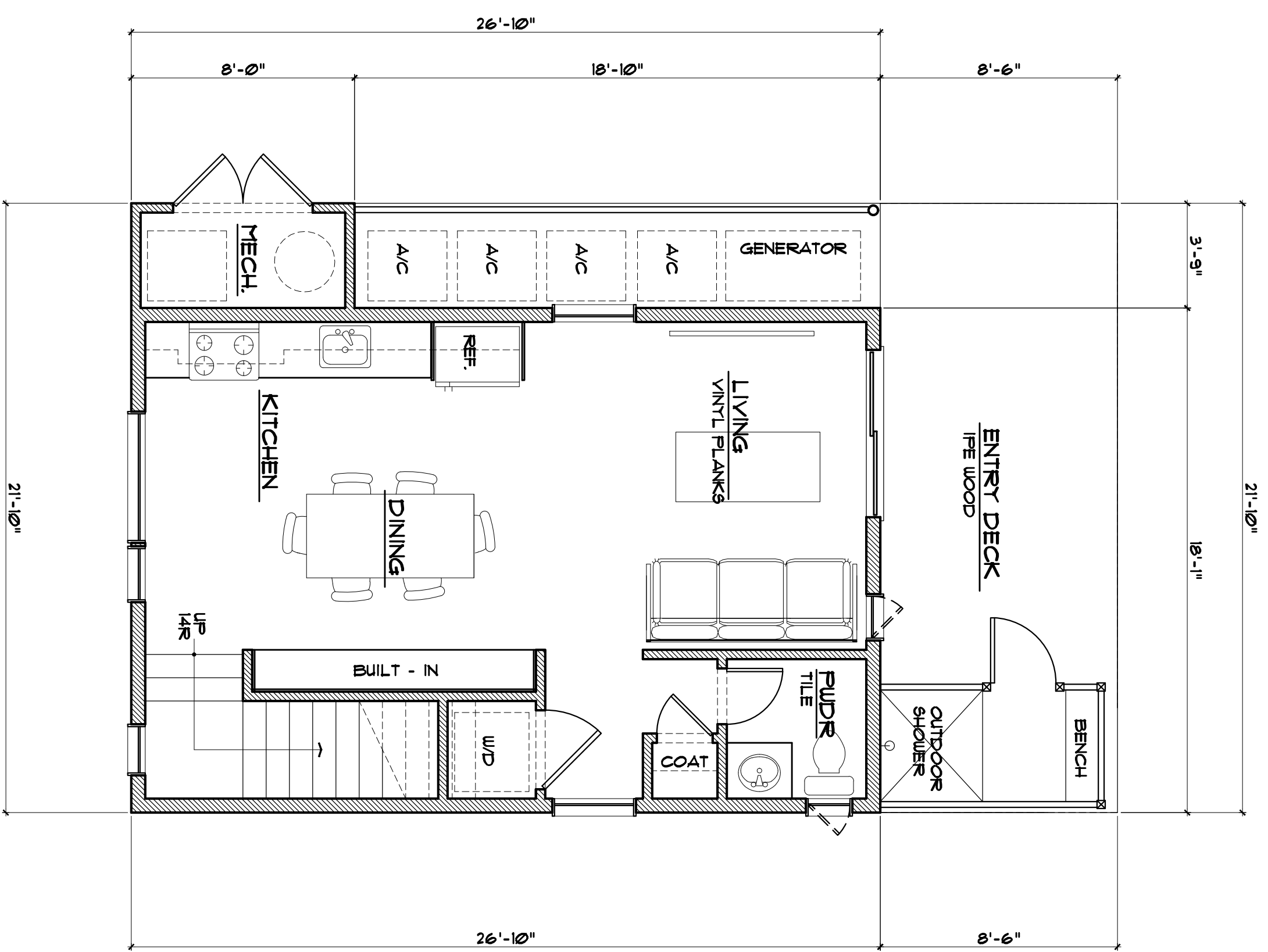
New Construction:
CINFIO RESIDENCE
336 First Avenue
Borough of Manasquan, New Jersey

Jeffrey G. Schneider
New Jersey Architect
A1015418

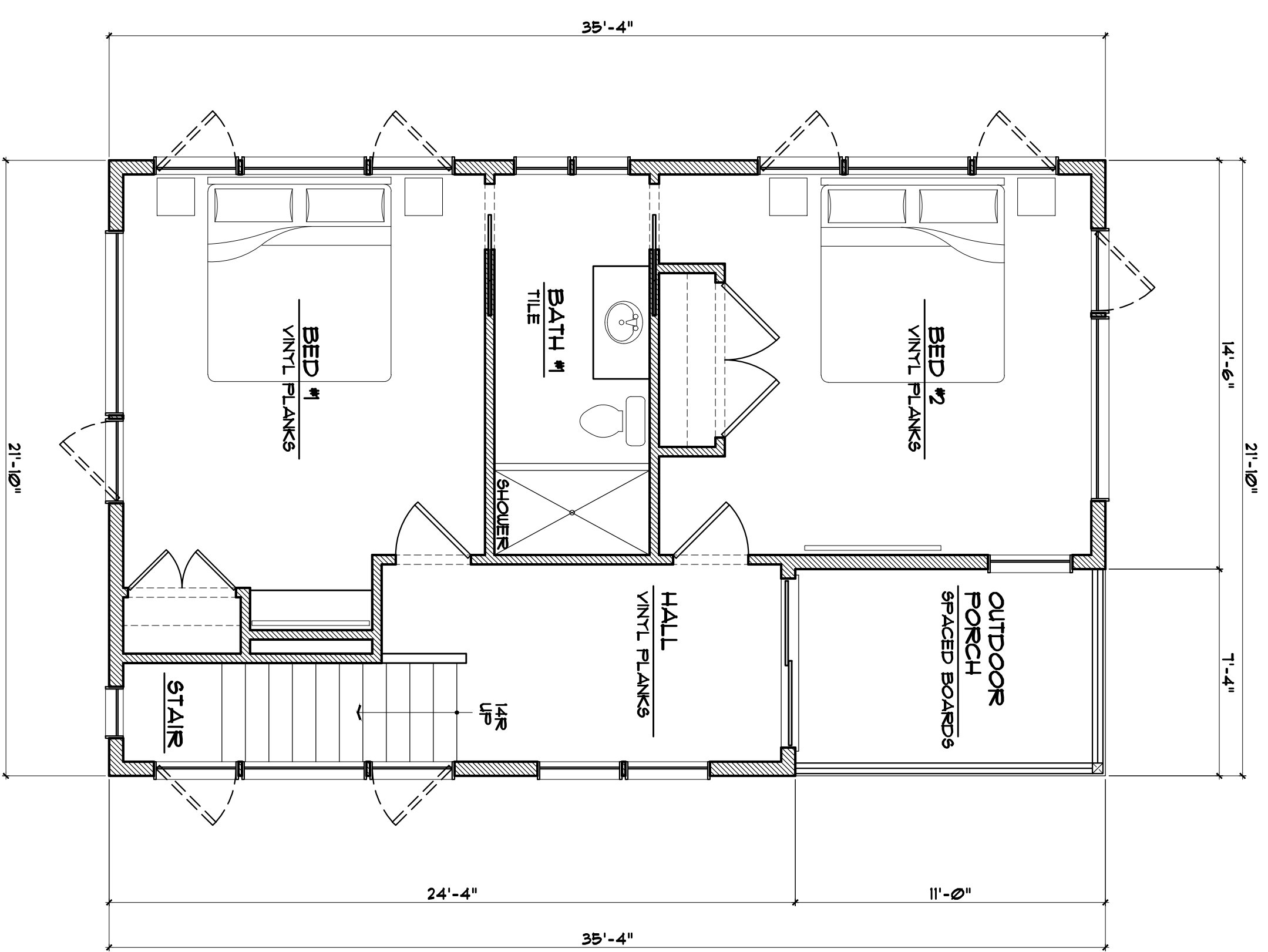
JEFF SCHNEIDER ARCHITECT
P.O. BOX 356
BAY HEAD, NJ 08742
(732) 892-8155 (T)
(732) 892-4331 (F)
JEFF@JEFFSCHNEIDERARCHITECT.COM



1
336 First Avenue
Grade Level Plan
SCALE: 1/4" = 1'-0"



2
336 First Avenue
First Floor Plan
SCALE: 1/4" = 1'-0"



3
336 First Avenue
Second Floor Plan
SCALE: 1/4" = 1'-0"

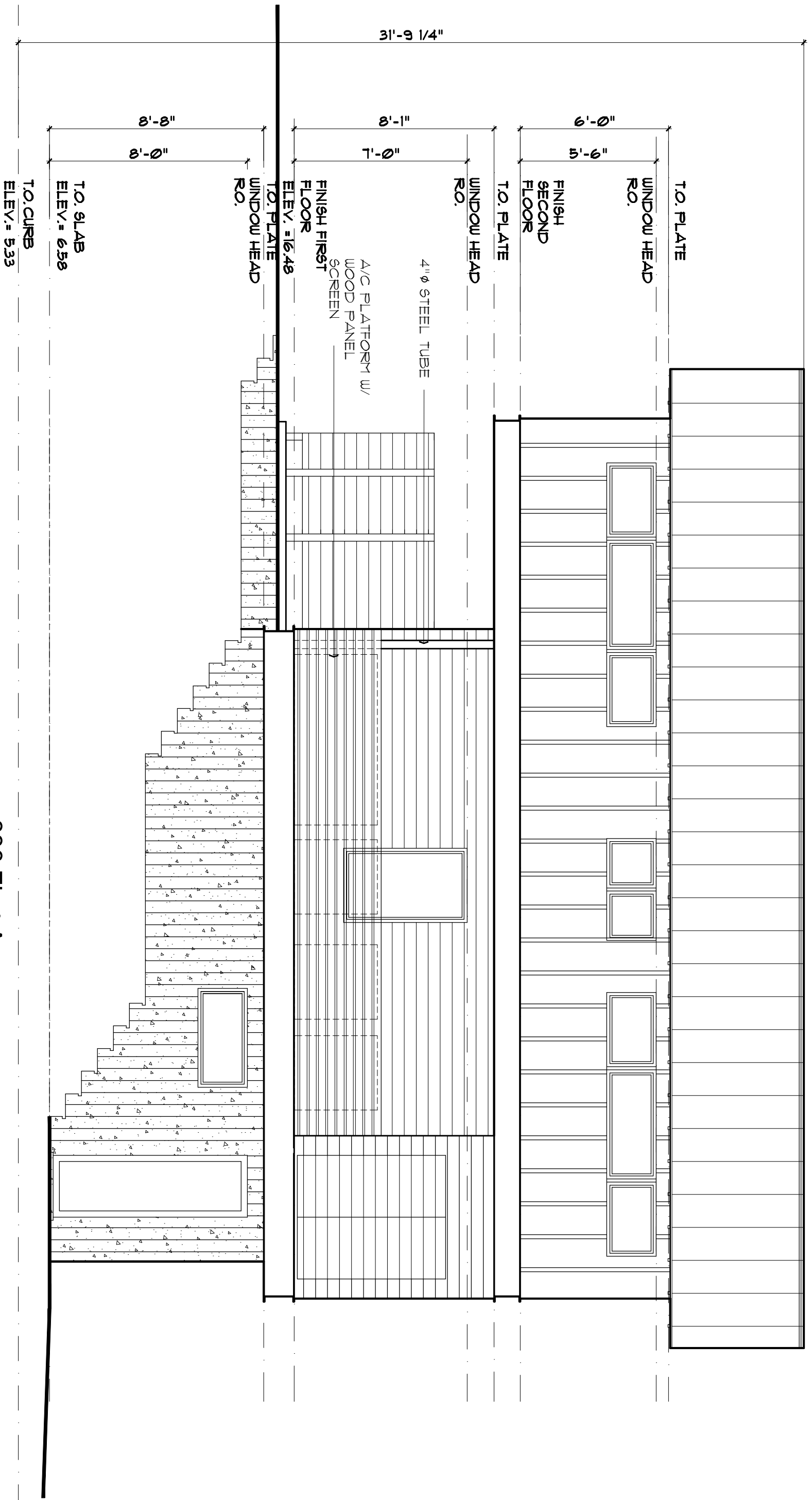
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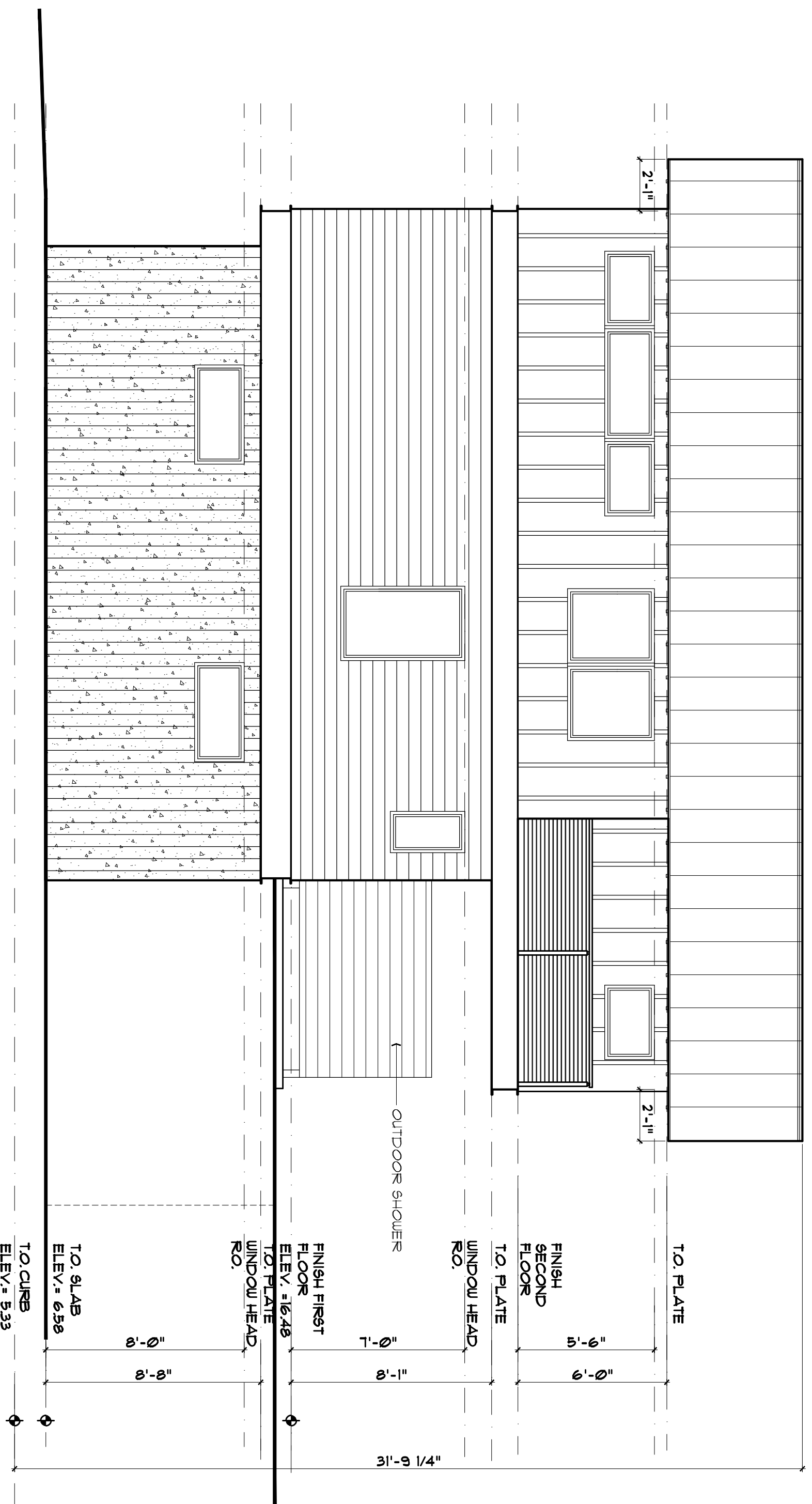
revisions	date
1.	
2.	
3.	
4.	
project number	2092
date	May 20, 2021

NOTE:
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS & SIMILAR AND TYPICAL CONDITIONS



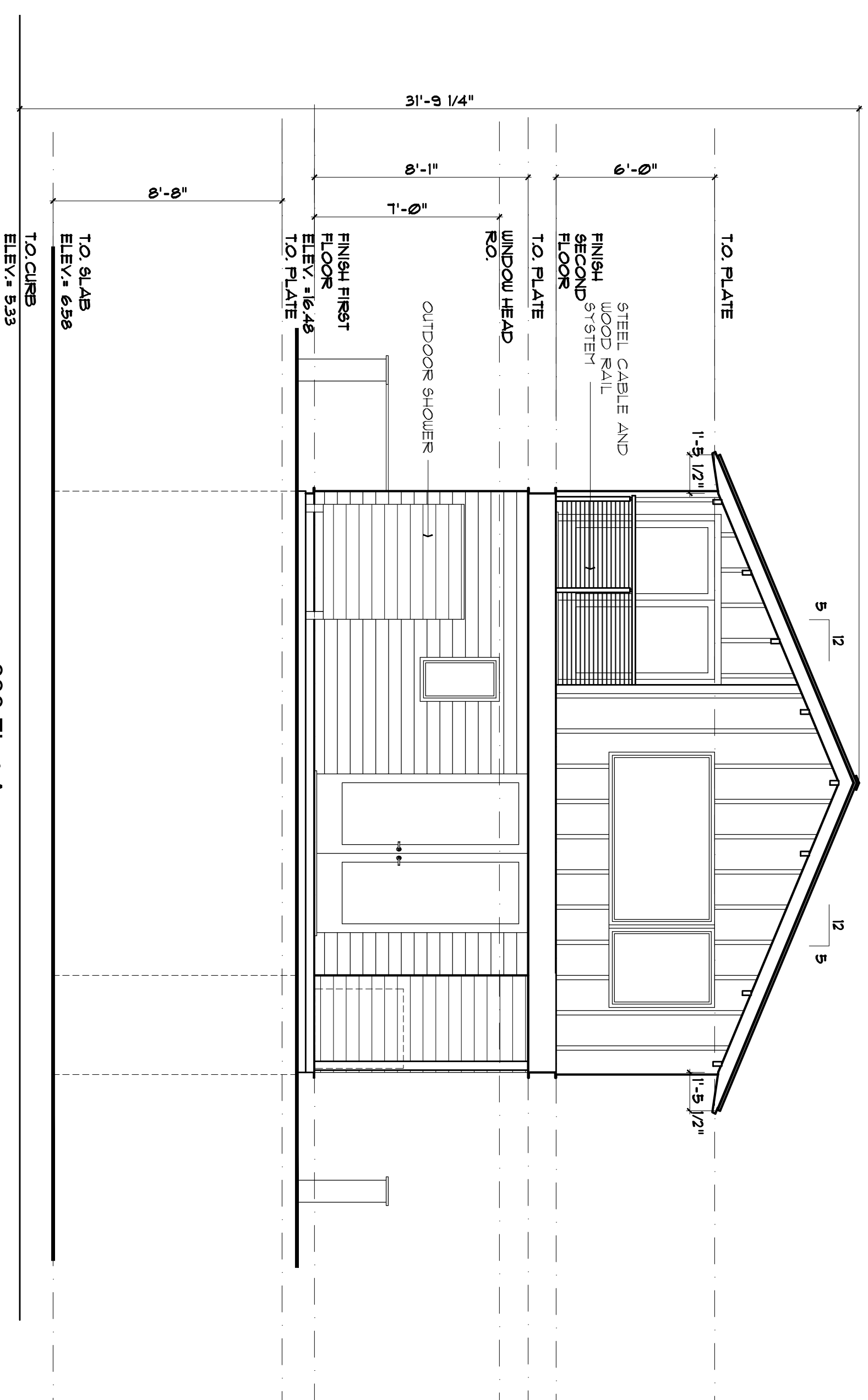
4
336 First Avenue
North Elevation
SCALE: 1/4" = 1'-0"

NOTE:
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS & SIMILAR AND TYPICAL CONDITIONS

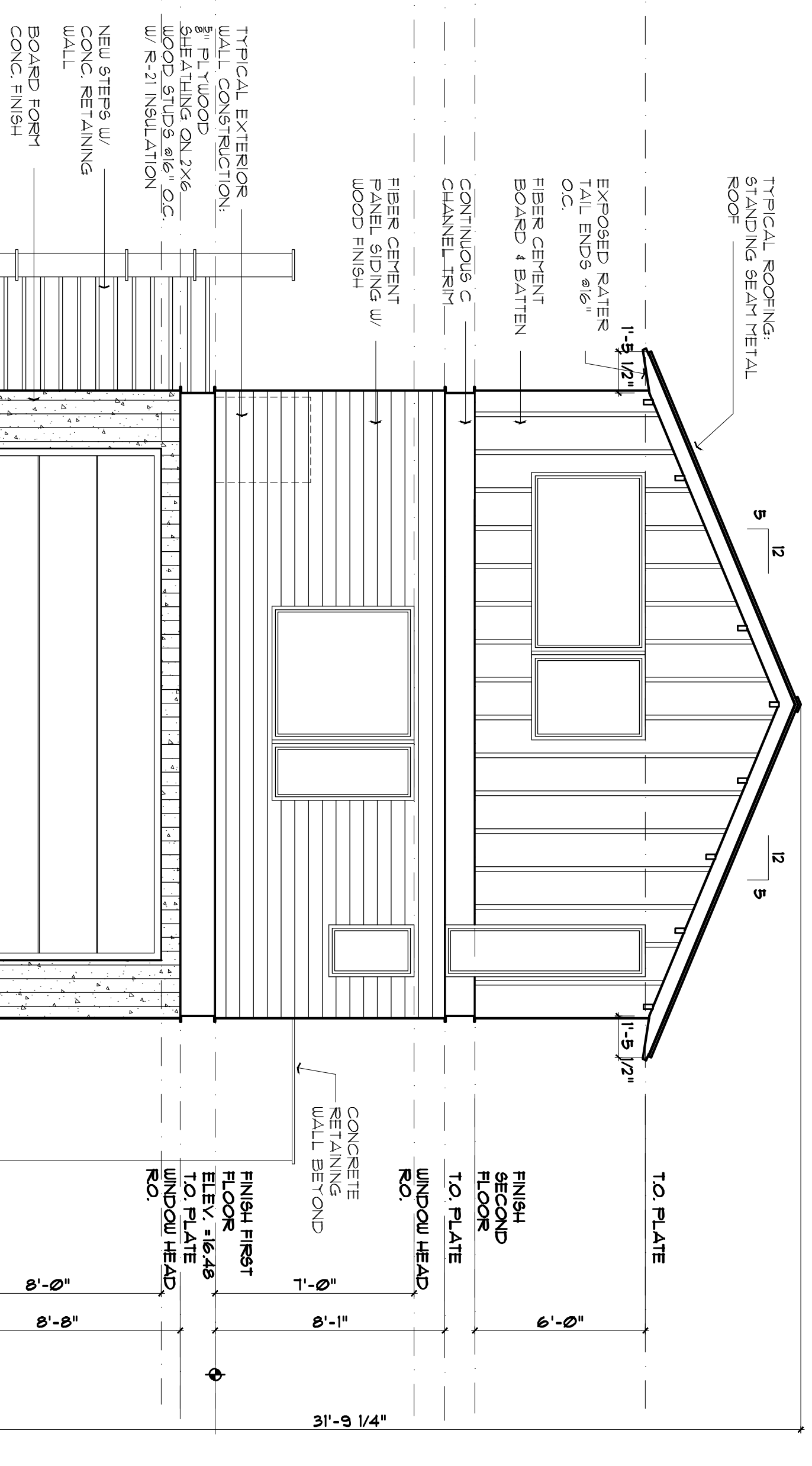


2
336 First Avenue
South Elevation
SCALE: 1/4" = 1'-0"

NOTE:
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS & SIMILAR AND TYPICAL CONDITIONS



3
336 First Avenue
East Elevation
SCALE: 1/4" = 1'-0"



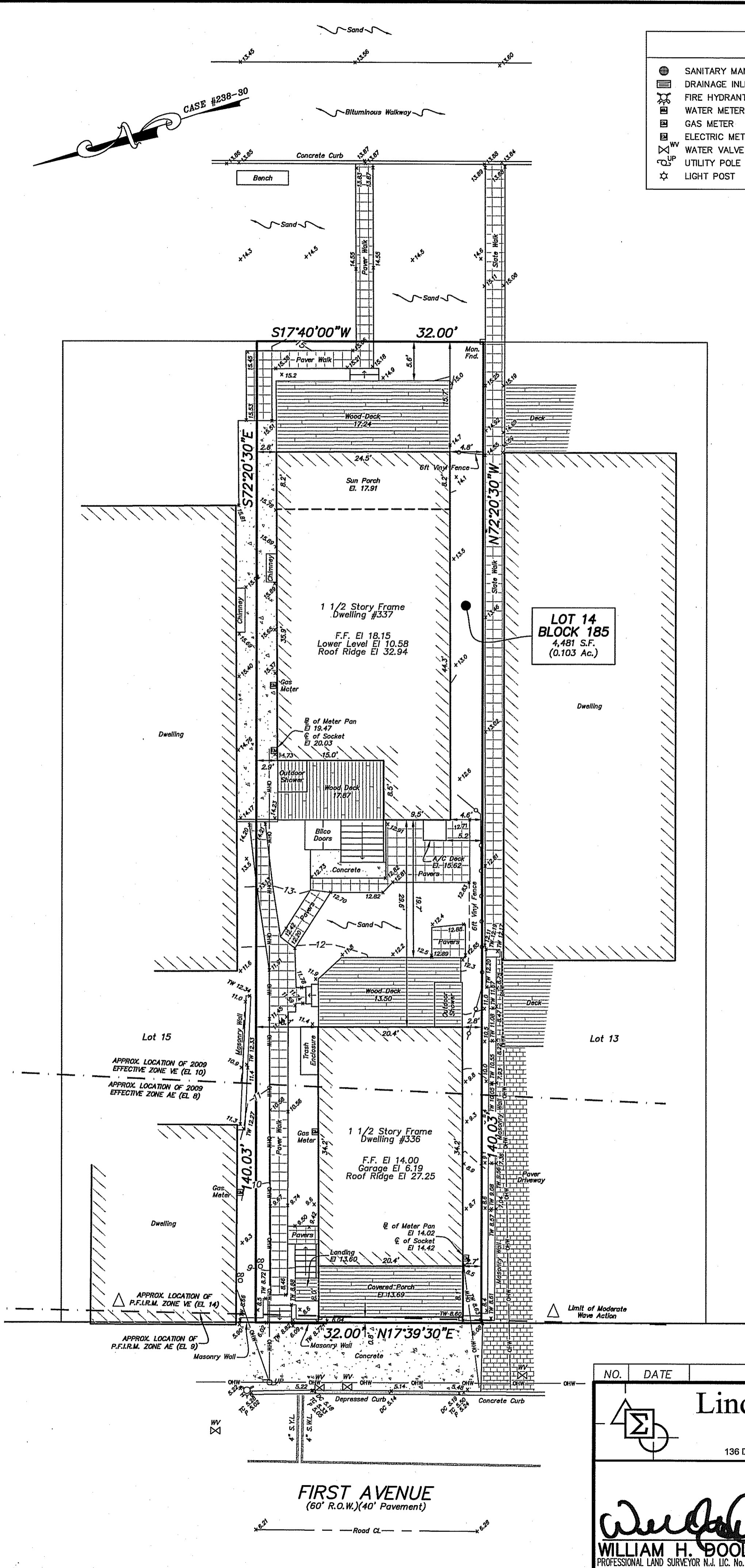
1
336 First Avenue
West Elevation
SCALE: 1/4" = 1'-0"

May 20, 2021

revisions	date
1.	
2.	
3.	
4.	

project number
2021

LEGEND			
	SANITARY MANHOLE		CLEANOUT
	DRAINAGE INLET		SIGN
	FIRE HYDRANT		ELECTRIC BOX
	WATER METER		MAIL BOX
	GAS METER		CAPPED ROD FOUND
	ELECTRIC METER		MONUMENT FOUND
	WATER VALVE		BOLLARD
	UTILITY POLE		AC UNIT
	LIGHT POST		CABLE BOX
	-1-		5
	MINOR CONTOUR		MAJOR CONTOUR
	G		W
	GAS		WATER MAIN
	TV		CABLE
	E/T		ELECTRIC & TELEPHONE
	OHW		OVERHEAD ELECTRIC
	UC		UNDERGROUND ELECTRIC
	SS		SANITARY SEWER



NOTES:

- ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
- PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10), COMMUNITY NUMBER 345303 MAP NUMBER 34025C0456F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
- PROPERTY CORNERS TO BE SET AT LATER DATE.

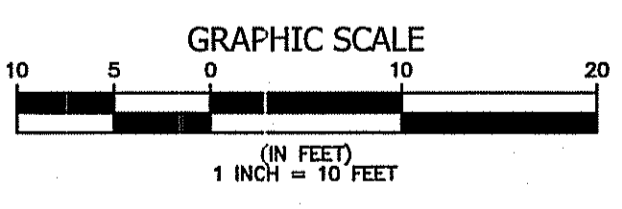
REFERENCES USED:

- FILED MAP, CASE #238-30
- DEED BOOK 9358, PAGE 2093

PROPERTY DESCRIPTION:

BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.



OFFSET DIMENSIONS FROM BUILDINGS AND FENCES AS SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES AND SETBACK LINES. THIS SURVEY SUBJECT TO ANY EASEMENT OF RECORD AND OTHER PERTINENT FACTS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON. ENVIRONMENTALLY SENSITIVE AREAS AND HAZARDOUS WASTE SITES, IF ANY, ARE NOT LOCATED BY THIS SURVEY. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE N.J. STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. NO LIABILITY IS ASSUMED BY THE CERTIFYING SURVEYOR FOR THE USE OF THIS SURVEY BY ANY PARTY NOT SHOWN ON THE CERTIFICATIONS HEREON, OR FOR THE USE OF SURVEY WITH SURVEY AFFIDAVIT. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732) 477-8900 • Fax. (732) 477-8026			
TOPOGRAPHIC SURVEY LOT 14 BLOCK 185			
WILLIAM H. BOOLITTLE PROFESSIONAL LAND SURVEYOR N.J. LIC. No. 246S03624000			
DRAWN BY:	SCALE:	DATE:	SHEET:
JGK	1"=10'	7/20/2020	1 OF 1
BOROUGH OF MANASQUAN			MONMOUTH COUNTY NEW JERSEY
PROJECT:	20075		

I:\Projects-Cadd\2020\20075_Carr\to_Manasquan\20075_base.dwg Aug 26, 2020 - 3:01pm